

**SOUTH KITSAP UGA/ULID #6 SUB-AREA PLAN:  
Proposed Amendments to the Kitsap County  
Subdivision Code and Zoning Code to Implement  
Ordinance No. 269-2002**

**Section 16.04.020, "Exemptions," of the Kitsap County Subdivision Code shall be amended to read as follows:**

The provisions of Chapters 16.04 through 16.44 shall not apply to:

- (1) Any cemetery or burial plot, while used for that purpose;
- (2) Any division of land into lots or tracts occurring outside any urban growth area (UGA), each of which is one thirty second of a section of land or larger, or 20 acres or larger if the land is not capable of description as a fraction of a section of land; provided, that for purposes of computing the size of any lot under this section which borders on a street or road, the lot size shall be expanded to include that area which would be bounded by the centerline of the road or street and the side lot lines of the lot running perpendicular to such centerline;
- (3) Any division of land made by testamentary provision, or the laws of descent;
- (4) A division for the purpose of lease when no residential structure other than mobile homes are permitted to be placed upon the land, provided that the division is subject to:
  - (A) Binding site plan as provided for in the current Kitsap County Zoning Code codified in Title 17 KCC,
  - (B) Any other applicable provisions of the Kitsap County Zoning Code,
  - (C) The provisions of Chapters 6.16 and 6.36, and
  - (D) Any provisions of the Title 16 KCC, Chapters 16.04 through 16.44, which the hearing examiner or board of county commissioners may require at the time of site plan review and approval;
- (5) Divisions of land into lots or tracts classified for industrial or commercial use when the board of county commissioners has approved a binding site plan for the use of the land in accordance with local regulations; provided, that when a binding site plan authorizes a sale or other transfer of ownership of a lot, parcel or tract, the binding site plan shall be filed for record in the county auditor's office on each lot, parcel or tract created pursuant to the binding site plan; provided further, that sale or transfer of such a lot, parcel or tract in violation of the binding site plan, or without obtaining binding site plan approval, shall be considered a violation of Chapters 16.04 through 16.44, and shall be restrained by injunctive action and be illegal as provided herein;
- (6) A division made for the purpose of adjusting boundary lines which does not create any additional lot, tract, parcel, site or division, nor create any lot,

tract, parcel, site or division which contains insufficient area and dimension to meet minimum requirements for width and area for a building site.

**Section 16.48.040, "Exclusions," of the Kitsap County Subdivision Code shall be amended to read as follows:**

This chapter shall not apply to:

- (1) Cemeteries and other burial plots while used for that purpose;
- (2) Divisions of land occurring outside any urban growth area (UGA) (note: for divisions occurring outside UGAs into lots or tracts each of which is equal to 1/128 of a section or larger (five acres), but less than 1/32 of a section (twenty acres) must proceed in compliance with KCC Chapter 16.52;
- (3) Divisions made by testamentary provisions, or the laws of descent;
- (4) Divisions of land into lots or tracts classified for industrial or commercial use when the county has approved a binding site plan for the use of the land in accordance with local regulations;
- (5) A division for the purpose of lease when no residential structure other than mobile homes or travel trailers are permitted to be placed upon the land and when the county has approved a binding site plan for the use of the land in accordance with local regulations;
- (6) A division made for the purpose of alteration by adjusting boundary lines, between platted or unplatted lots or both, which does not create any additional lot, tract, parcel, site or division nor create any lot, tract, parcel, site, or division which contains insufficient area and dimension to meet minimum requirements for width and area for a building site; and
- (7) Divisions of land into lots or tracts if:
  - (A) The improvements constructed or to be constructed thereon will be included in one or more condominiums or owned by the association or other legal entity in which the owners of the units therein or their owners' associations have a membership or other legal or beneficial interest;
  - (B) The County has approved a binding site plan for all such land; and
  - (C) The binding site plan contains on it the following statement:

All development of the land described herein shall be in accordance with the binding site plan, as it may be amended. Upon completion, the improvements on the land shall be included in one or more condominiums or owned by an association or other legal entity in which the owners of units therein or their owner's associations have a membership or other legal or beneficial interests.
  - (D) Divisions of land made for the purpose of transferring land to a governmental entity, and/or nonprofit land trust to accomplish any public purpose.

**Subsection 16.52.020(15) in Section 16.52.020, "Definitions," of the Kitsap County Subdivision Code shall be amended to read as follows:**

"Large lot subdivision" means the division or redivision of land occurring outside urban growth area (UGA) boundaries into two or more lots for the purpose of sale, lease or transfer of ownership where each lot is five acres or 1/128 of a section or larger; Provided, this shall not include divisions or redivisions of land where all parcels are equal to or greater than twenty acres or 1/32 of a section.

**Section 16.52.040, "Exclusions," of the Kitsap County Subdivision Code shall be amended to read as follows:**

This chapter shall not apply to divisions:

- a. Made by testamentary provisions or the laws of descent;
- b. Made for the purpose of adjusting boundary lines where no additional lots are created and where no lot is left with insufficient area or dimensions to meet minimum requirements for a building site; and
- c. Occurring within any urban growth area (UGA) boundary.

**Section 110, "Definitions," of the Kitsap County Zoning Code shall be amended to include the following new definitions:**

**126. Brew pubs.**

"Brew pubs" shall mean a combination retail, wholesale and manufacturing business that brews and serves beer and/or food on the premises.

**196. Cottage housing development.** Four (4) or more small, detached dwelling units sharing a commonly owned courtyard/common area and parking area.

**197. Custom art and craft stores.**

"Custom art and craft stores" shall mean a business in which finished, personal or household items are produced and/or sold. Examples include, but are not limited to: pottery and candle making; leather work; jewelry making; creation of sculpture or other artwork.

**226. Drinking establishments.**

"Drinking establishments" shall mean a business primarily engaged in the retail sale of alcoholic beverages for consumption on the premises, including night clubs, bars, and taverns. It shall not mean premises wherein such beverages are sold in conjunction with the sale of food for consumption on the premises and the sale of such beverages comprises less than twenty (20) percent of the gross receipts (e.g., a lounge operated as part of a restaurant is considered to be accessory to a restaurant).

**301. General merchandise stores.**

"General merchandise stores" shall mean stores that sell a wide variety of grocery and non-grocery items, including, but not limited to: fresh foods; packaged foods for preparation and consumption in the home; household supplies; consumer electronics; hardware; apparel; and sporting goods.

**302. General office and management services.**

"General office and management services" shall mean the offices of real estate agencies, mortgage brokers, advertising agencies, credit agencies, mailing services and postal substations, employment agencies, insurance agencies, management and consulting firms, accountants, attorneys, security brokers, financial advisors, architects, engineers, surveyors, tax preparation services, computer software development, and other similar business services. This may also include the administrative offices for businesses whose primary activity may be construction, manufacturing, utility services, or some other non-office use conducted elsewhere.

**504. Neighborhood commercial center.**

"Neighborhood commercial center" shall mean a commercial center that occurs on a smaller site and is intended to provide for the local shopping needs of the immediate neighborhood in which they are located. New centers should be based upon demonstrated need and shall be compatible with a residential setting.

**535. Open space.**

"Open space" shall mean land used for outdoor active and passive recreational purposes or for critical area or resource land protection, including structures incidental to these open space uses, including associated buffers, but excluding land occupied by dwellings or impervious surfaces not related to the open space uses and yards required by this Ordinance for such dwellings or impervious surfaces. "Open space" is further divided into the following categories:

- A. "Common open space" shall mean space that may be used by all occupants of a development complex, or if publicly dedicated, by the general public;
- B. "Active recreational open space" shall mean space that is intended to create opportunities for recreational activity. Active recreational open space may be occupied by recreational facilities such as ball fields, playground equipment, trails (pedestrian, bicycle, equestrian or multi-modal), swimming pools, and game courts or sculptures, fountains, pools, benches or other outdoor furnishings; and
- C. "Passive open space" shall mean all common open space not meeting the definition of active recreational open space, including but not limited to, critical areas and their associated buffers.

**591. Pharmacies.**

"Pharmacies" shall mean businesses primarily engaged in the sale of prescription and over-the-counter drugs, vitamins, first-aid supplies, and other health-related products. Pharmacies that also sell a wide variety of other types of merchandise, such as beauty products, camera equipment, small consumer electronics, gift wares, house wares, and/or cleaning supplies are considered "general merchandise stores."

**674. Sheltered transit stop.**

"Sheltered transit stop" shall mean a shelter for the protection from the elements for the waiting customers of a public transportation system.

**Subsection 200.010, "Classification of Zones," in Section 200, "Establishment of Zones and Map," of the Kitsap County Zoning Code shall be amended to read as follows:**

**010. Classification of Zones.**

For the purposes of this Code the County is divided into zones designated as follows:

<b>ZONES</b>	<b>MAP SYMBOL</b>	<b>DENSITY</b>
Forest Resource Lands	FRL	1 dwelling unit/40 acres
Interim Rural Forest	IRF	1 dwelling unit/20 acres
Rural Protection	RP	1 dwelling unit/10 acres
Rural Residential	RR	1 dwelling unit/5 acres
Urban Reserve	URS	1 dwelling unit/10 acres
Urban Restricted	UR	1-5 dwelling unit(s)/acre
Urban Low Residential	UL	5-9 dwelling units/acre
Urban Cluster Residential	UCR	5-9 dwelling units/net acre
Urban Medium Residential	UM	10-19 dwelling units/acre
Urban High Residential	UH	20-24 dwelling units/acre
Urban Village Center	UVC	up to 18 dwelling units/net acre
Urban Town Center	UTC	reserved
Highway/Tourist Commercial	HTC	not applicable
Urban Commercial	UC	not applicable
Regional Commercial	RC	not applicable
Business Park	BP	not applicable
Industrial	IND	not applicable
Airport	A	not applicable
Mineral Resource	MR	not applicable

**Subsection 330.060, "Lot Requirements," in Section 330, "Urban Low Residential Zone (UL)," of the Kitsap County Zoning Code shall be amended to read as follows:**

**060. Lot Requirements; Density Limitations.**

- A. The minimum lot requirements shall be as shown in Urban Low Residential Zone Lot Requirements Table 330.060(A).
- B. Development within this zone is subject to a minimum density requirement of 5 units per acre. Residential development that does not meet this density must submit a pre-plan for future property division that demonstrates that future re-division to achieve the minimum density is feasible. and meet the requirements outlined in Section 315.090.

**Urban Low Residential Zone Lot Requirements Table 330.060(A)**

Classifi- cation	Density (DU/Acre)	Minimum Lot Area	Minimum Lot Width	Minimum Lot Depth	Front Yard	Side Yard	Opposite Site Yard	Rear Yard
UL	Min 5 Max 9	None	60	60	20	5	5	5

- C. Density Limit for the South Kitsap UGA/ULID #6 Sub-Area. Pursuant to the approved South Kitsap UGA/ULID #6 Sub-Area Plan, the maximum number of residential units permitted in the sub-area is 4,172, until such time as a further population allocation may be is made to the sub-area. All residential development within the sub-area located in the UL zone is subject to this density limitation. To ensure that the density limit for the sub-area is not exceeded, the Director shall use the County's Land Information System (LIS) to monitor the number of dwelling units remaining and available for development within the sub-area.

**Subsection 330.090, "Other Provisions," in Section 330, "Urban Low Residential Zone (UL)," of the Kitsap County Zoning Code shall be amended to read as follows:**

**090. Other Provisions.**

- A. Generally. See Sections 430 & 455.
- B. Master Planning Requirements for the South Kitsap UGA/ULID #6 Sub-Area. Consistent with Section 428, prior to any new development within an area zoned UL in the South Kitsap UGA/ULID #6 Sub-Area, a master plan shall be prepared for the entirety of the UL zone located within the South Kitsap UGA/ULID #6 Sub-Area prior to any new development, PROVIDED, that the Director may decrease the area within the sub-area that will be included in the Master Plan upon making a written finding that

doing so will not adversely effect the provision of a coordinated system of open space, parks, recreational areas, transportation improvements and water and wastewater facilities within the entirety of the zone.

**Subsection 340.060, "Lot Requirements," in Section 340, "Urban Medium Residential Zone (UM)," shall be amended to read as follows:**

**060. Lot Requirements; Density Limitations.**

- A. The minimum lot requirements shall be as shown in Urban Medium Residential Zone Lot Requirements Table 340.060(A). Development within this zone is subject to a minimum density requirement of 10 units per acre. Residential development which does not meet this density requirement must submit a pre-plan for future property division that demonstrates that future re-division to achieve the minimum density is feasible. and meet the requirements outlined in section 315.090.

**Urban Medium Residential Zone Lot Requirements Table 340.060(A)**

Classifi- cation	Density (DU/Acre)		Minimum Lot Area	Minimum Lot Width	Minimum Lot Depth	Front Yard	Side Yard	Opposite Site Yard	Rear Yard
UM	Min 10	Max 18	None	60	60	10	5	5	5

- B. Density Limit for the South Kitsap UGA/ULID #6 Sub-Area. Pursuant to the approved South Kitsap UGA/ULID #6 Sub-Area Plan, the maximum number of residential units permitted in the sub-area is 4,172, until such time as a further population allocation is made to the sub-area. All residential development within the sub-area located in the UM zone is subject to this density limitation. To ensure that the density limit for the sub-area is not exceeded, the Director shall use the County's Land Information System (LIS) to monitor the number of dwelling units remaining and available for development within the sub-area.

**Subsection 340.090, "Other Provisions," in Section 340, "Urban Medium Residential Zone (UM)," shall be amended to read as follows:**

**090. Other Provisions.**

- A. See Sections 430 & 455.
- B. Master Planning Requirements for the South Kitsap UGA/ULID #6 Sub-Area. Consistent with Section 428, prior to any new development within an area zoned UM in the South Kitsap UGA/ULID #6 Sub-Area, a master plan shall be prepared for the entirety of the UM zone located within the South Kitsap UGA/ULID #6 Sub-Area prior to any new development, PROVIDED, that the Director may decrease the area within the sub-area that will be included in the Master Plan upon making a written finding that doing so will not adversely effect the provision of a coordinated system of open space, parks, recreational areas, transportation improvements and water and wastewater facilities within the entirety of the zone.

**A new Section 335, "Urban Cluster Residential Zone," will be added to the Kitsap County Zoning Code, which shall read as follows:**

**335. Urban Cluster Residential (UCR) Zone.**

**010. Purpose.**

The Urban Cluster Residential (UCR) zone is intended to encourage flexible land uses, recognizing that exact locations of uses must be based on the location of critical areas, transportation corridors, community needs and market conditions. The intent is to give flexibility to locate urban residential development in areas suitable for such uses by promoting a variety of housing choices, and to encourage affordable housing through innovative design. It allows a combination of single family, townhouse, duplex, and multiple-family housing, and zero lot line development, in order to encourage clustering of appropriate densities of residential housing in areas suitable for such development, while simultaneously providing a high level of protection for wetlands, streams and wildlife habitat areas, including areas which will help maintain the vitality of salmonid habitat. At the same time, the UCR zone should foster a development pattern that results in the design and construction of an interconnected system of pedestrian and bicycle trails and facilities linking residential neighborhoods with open spaces, recreational areas, transportation corridors and retail and employment opportunities, both within and outside the zone.

**020. Uses.**

The following Urban Cluster Residential Zone Use Table is a list of examples for allowable uses in the zone. The appropriate review, as listed, is mandatory.

- “P” - Permitted
- “SPR” - Site Plan Review, Section 410;
- “C” - Conditional Uses, Section 420;
- “X” - Uses specifically prohibited.

**Urban Cluster Residential Zone Use Table 335.020**

<b>USES</b>	<b>UCR</b>
<b>A. Residential</b>	
1. Single-family dwellings	P
2. Duplex	P
3. Townhouses (3 or more)	SPR
4. Multi-family housing	SPR
5. Mobile home parks subject to density limits of zone	P
6. Residential performance based development <sup>6</sup>	P
7. Accessory dwelling unit <sup>1</sup>	P
8. Accessory living quarters <sup>2</sup>	P
9. Accessory uses and structures normal to a residential environment	P
10. Home businesses <sup>5</sup>	P
<b>B. Retail Sales, General Merchandise &amp; Services</b>	
1. Stores less than 5,000 s.f. in gross floor area <sup>8</sup>	C
<b>C. Retail Sales - Restaurants, Drinking Places</b>	
1. Delicatessens/Restaurants <sup>8</sup>	C
2. Drive - in restaurants	X
3. High turnover restaurants	X
4. Brew pubs (where the manufacturing component is subordinate and accessory to a primary retail use) <sup>8</sup>	C

<b>USES</b>		<b>UCR</b>
5.	Brew pubs (where the retail component is subordinate and accessory to a primary manufacturing use)	X
6.	Drinking establishments	X
<b>D. Retail Sales, Miscellaneous Stores</b>		
1.	Laundromats and laundry services <sup>8</sup>	C
2.	Pharmacies <sup>8</sup>	C
<b>E. Services, Businesses</b>		
1.	Temporary offices and model homes <sup>7</sup>	SPR
<b>F. Services, Lodging Places</b>		
1.	Bed and breakfast house (up to 4 guest rooms)	P
2.	Bed and breakfast house (5-10 guest rooms)	C
<b>G. Services, Medical &amp; Health</b>		
1.	Congregate care facility within an existing structure	P
2.	Congregate care facility	C
3.	Residential care facility within an existing structure	P
4.	Residential care facility not within an existing structure	SPR
<b>H. Services, Amusement</b>		
1.	Private recreational center or facilities such as country clubs and golf courses, but not including such intensive commercial recreation uses as a golf driving range (unless within a golf course), race track, amusement park or gun club	SPR
2.	Accessory use or structure (recreational)	P
<b>I. Services, Membership Organizations</b>		
1.	Places of worship	C
2.	Private community centers, halls, clubs, lodges, meeting places	SPR
<b>J. Services, Educational</b>		
1.	Day-care center, family	P
2.	Day-care center <sup>3</sup>	C
3.	Public or private schools <sup>4</sup>	C
<b>K. Public Services &amp; Facilities</b>		
1.	Public facilities and electric power and natural gas utility facilities, including fire stations, libraries, museums, substations, ferry terminals, commuter part-and-ride lots, and post offices; but not including storage or repair yards, warehouses, or similar uses	SPR
2.	Publicly owned recreational facilities, services, parks and playgrounds	P
<b>L. Other</b>		
1.	Cemeteries and/or mausoleums, crematories, columbaria and mortuaries within cemeteries	<b>PC</b>

USES	UCR
2. Agricultural uses, including any accessory buildings related to such uses and activities as defined in Section 110	X
3. Forestry, including any accessory buildings related to such uses and activities as defined in Section 110	X

<sup>1</sup> Subject to Section .425

<sup>2, 3, 4, 6 and 9</sup> Subject to Section .430

<sup>5 and 7</sup> Subject to Section .455

<sup>8</sup> These uses are allowed only within a commercial center limited in size and scale (e.g., an intersection or "corner" development).

**030. Densities Generally; and Density Limit for the South Kitsap UGA/ULID #6 Sub-Area.**

A. Densities.

1. Minimum: 5 units/gross acre; and
2. Maximum: 9 units/gross acre.

B. Density Limit for the South Kitsap UGA/ULID #6 Sub-Area. Pursuant to the approved South Kitsap UGA/ULID #6 Sub-Area Plan, the maximum number of residential units permitted in the sub-area is 4,172, until such time as a further population allocation is made to the sub-area. All residential development within the sub-area located in the UCR zone is subject to this density limitation. To ensure that the density limit for the sub-area is not exceeded, the Director shall use the County's Land Information System (LIS) to monitor the number of dwelling units remaining and available for development within the sub-area.

**040. Lot Requirements.**

A. Minimum Lot Sizes. None.

B. Yard Requirements - Single-Family, Duplex and Townhouse Units.

1. Front yard - 10 feet.
2. Side and rear yard - 5 feet.
3. No setbacks are required between interior walls of duplex and townhouse units.

C. Yard Requirements - Multi-Family Units.

1. Front yard - 10 feet if the opposite side of the street front is a residential use, no setback if the opposite side of the street is developed with a nonresidential use.
2. Side and rear yard - 5 feet.

**050. Height Regulations.**

No building or structure shall be hereafter erected, enlarged, or structurally altered to exceed thirty-five (35) feet in height.

**060. Signs.**

Signs shall be permitted according to the provisions of Section 445.

**070. Off-Street Parking.**

Off-Street parking shall be provided according to the provisions of Section 435.

**080. Other Provisions.**

- A. See Sections 385, 430 and 455.
- B. All development shall comply with the standards in the Kitsap County Storm Water Management Code, KCC Title 12, and the Kitsap County Critical Areas Code, KCC Title 19, as they now exist or are later amended, as well as all SEPA mitigation requirements.
- C. Master Planning Requirements for the South Kitsap UGA/ULID #6 Sub-Area. Consistent with Section 428, prior to any new development within an area zoned UCR in the South Kitsap UGA/ULID #6 Sub-Area, a master plan shall be prepared for the entirety of the UCR zone located within the South Kitsap UGA/ULID #6 Sub-Area prior to any new development; PROVIDED, that the Director may decrease the area within the sub-area that will be included in the Master Plan upon making a written finding that doing so will not adversely effect the provision of a coordinated system of open space, parks, recreational areas, transportation improvements and water and wastewater facilities within the entirety of the zone.

**A new Section 351, "Multi-Family Development - Design Criteria," will be added, which shall read as follows:**

**Sections:**

- 010. Purposes & Intent.**
- 020. Applicability - How to Use the Design Criteria.**
- 040. Multi-Family Site Design - Orientation (UCR, UM & UH zones).**
- 050. Fences & Walls.**
- 060. Recreation Centers, Mailboxes, Site Lighting, Bus Stops.**
- 070. Grading & Tree/Vegetation Retention.**
- 080. Open Space.**
- 090. Landscape Design.**

**010. Purposes & Intent**

The general purposes of these design criteria are as follows:

- A. To encourage better design and site planning.
- B. To ensure that new multi-family development is sensitive to the character of the surrounding neighborhoods.
- C. To enhance the built environment for pedestrians in higher-density areas.
- D. To provide for development of neighborhoods with attractive, well-connected streets, sidewalks, and trails that enable convenient, direct access to neighborhood centers, parks, and transit stops.
- E. To ensure adequate light, air, and readily accessible open space for multi-family development in order to maintain public health, safety and welfare.
- F. To ensure the compatibility of dissimilar adjoining land uses.
- G. To maintain or improve the character, appearance, and livability of established neighborhoods by protecting them from incompatible uses, excessive noise, illumination, loss of privacy, and similar significant impacts.
- H. To encourage creativity and flexibility in the design of multi-family developments in a manner that maximizes unique site attributes and is compatible with the character and intensity of adjoining land uses.

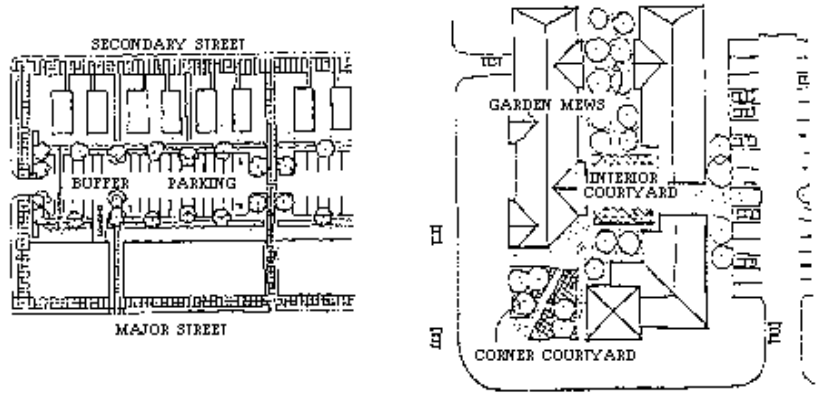
**020. Applicability - How to Use the Design Criteria.**

- A. Applicability.
1. The "requirements sections" in the following design criteria apply to each multi-family project requiring site plan review under Section 410 of this ordinance, or conditional use review under Section 420 of this ordinance.
  2. In addition to the requirements set forth in this Section 351, the "requirements sections" set forth in Section 354.160 and Sections 354.180 to 354.240 shall apply to each multi-family project requiring review under subsection A, above.
- B. How to Use the Design Criteria. The "requirements sections" state the design criteria that each project shall meet. These design criteria are intended to supplement the development standards of the UCR, UM AND UH zones. Where the provisions of this Section 351 conflict with the provisions of Sections 335 (UCR), 340 (UM), and 350 (UH), the provisions of the zoning district shall apply. The "guidelines" which follow each requirement statement are suggested ways to achieve the design intent. Each guideline is meant to indicate the preferred conditions, but other equal or better design solutions will be considered acceptable by the Director or Hearing Examiner, so long as these solutions meet the intent of these sections. They are to be applied with an attitude of flexibility, recognizing that each development site and project will have particular characteristics that may suggest that some guidelines be emphasized and others de-emphasized. However, while alternative solutions can be proposed, none of the criteria in the requirement statements can be disregarded. ~~Nothing in these design criteria shall be construed to create a duty on the part of the County or its officers, agents and employees with respect to the health, safety or welfare of the users of the structures and surroundings mentioned herein.~~

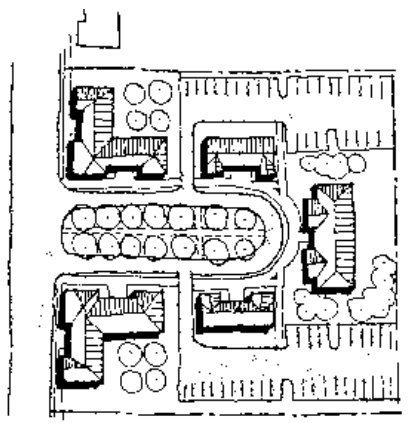
**030. Multi-Family Site Design - Orientation (UCR, UM & UH zones).**

- A. Requirement. Design multi-family projects to be oriented to public streets and to provide pedestrian and vehicular connections to existing neighborhoods.
- B. Guidelines: Possible ways to achieve neighborhood connections include:
1. Use a modified street grid system where most buildings in a project front on a street. Where no public streets exist, create a modified grid street system within the project.
  2. Locate parking areas behind or under building and access such parking from alley-type driveways. If driveway access from streets is necessary, minimum width driveway providing adequate fire-fighting access should be used.

3. Provide each building with direct pedestrian access from the main street fronting the building and from the back where the parking is located.
4. Another alternative may be to orient the buildings into U-shaped courtyards where the front door/main entry into the building is from a front courtyard. Access to the courtyard from the rear parking area should be through a well-lighted breezeway or stairway. This alternative will work where projects abut an arterial or major collector street where the quality of living could be enhanced with building facing into the courtyard. The buildings would still be located between the street and parking lot.
5. The following illustrations depict site-planning techniques that orient multi-family projects to streets, adding value and identity to the complex, by siting parking behind the buildings:



*Examples of preferred site planning that orients multi-family projects to streets, adding value and identity to the complex, by siting parking behind the buildings.*



**040. Fences & Walls.**

- A. Requirement. Design the site to minimize the need for fences and walls that inhibit or discourage pedestrian use of sidewalks or paths, isolate neighborhoods, or separate neighborhoods from main roads.
- B. Guidelines:
  - 1. Place pedestrian breaks and/or crossing at frequent intervals where a fence, wall or landscaped area separates a sidewalk from a building or one development from another.
  - 2. Employ small setbacks, indentations, stepped fence heights, or other means of breaking up the wall or fence surface and height.
  - 3. Employ different textures, color or materials (including landscape materials) to break up the wall's surface and add visual interest.
  - 4. If fencing is required, repeat the use of building façade materials on fence columns and or/stringers.



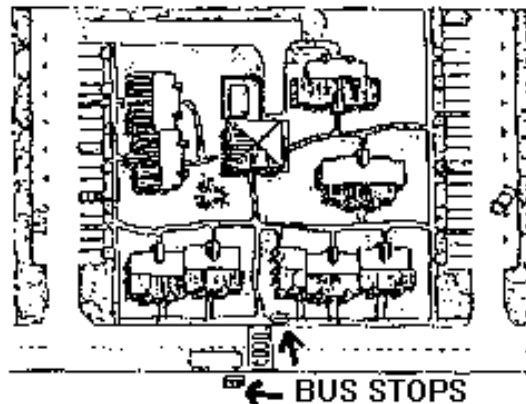
*Alternative to solid, or blank-looking fence.*

**050. Recreation Centers, Mailboxes, Site Lighting, Bus Stops.**

- A. Requirement. Provide adequate lighting, screening and pedestrian access to supporting facilities such as recreation centers, mailboxes, play yards, bus stops and dumpsters. If otherwise required as a condition of project approval, locate passenger shelters in well-lit areas with access to the multi-family walkway network. Provide for shielding and directing of light to minimize impacts upon residents and abutting property owners.
- B. Guidelines:
  - 1. Recreation centers.
    - a. Recreation centers should have adequate parking and bike racks for the guests of tenants.
    - b. The center should be directly connected by a series of walkways to all the multi-family buildings in the complex.

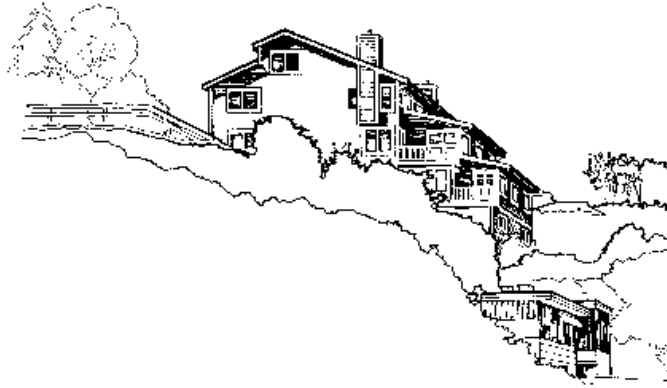
These walkways should be barrier free, landscaped, and lighted with fixtures not to exceed fifteen (15) feet in height. The walkways should provide visual contrast where they cross driveways or streets.

2. Site lighting.
  - a. Site lighting (pedestrian-scale & low level) should be provided throughout the project.
  - b. Security lighting should be provided in parking areas and play areas.
  - c. Lighting should not shine into the dwelling units in the development.
  - d. Lighting should be directed away from neighboring development.
3. Mailboxes. If common mailboxes are used, they should be located near the project entry or near the recreational facilities. The architectural character should be similar in form, materials, and colors to the surrounding buildings. Mailboxes should be well lighted and pedestrian accessible.
4. Bus Stops. The multi-family walkway network shall provide convenient pedestrian access to the nearest transit stop.



#### **060. Grading & Tree/Vegetation Retention.**

- A. Requirement. To the extent reasonable and practicable, multi-family projects shall be designed to minimize impacts to existing topography and vegetation.
- B. Guidelines:
  1. Incorporate the natural grades in the overall design of the project.
  2. Incorporate existing groups of trees/vegetation to be protected and retained on the site.
  3. Minimize disturbance of open space to better facilitate stormwater infiltration.



*Stepping the building down a hillside to match the topography can reduce the impact of the building on smaller, nearby buildings.*

## **070. Open Space.**

- A. Requirement. Open space shall be provided in a multi-family development for all the residents of the development.
- B. Guidelines:
1. Where possible, combine the open space of contiguous properties to provide for larger viable open space areas.
  2. Site permanent outdoor recreation equipment away from storm drainage facilities.
  3. Use walkways to connect the open spaces to the multi-family buildings, parking areas, and adjacent neighborhoods.
  4. Incorporate a variety of activities for all age groups in the active recreational open space.



*Consider drainage/retention areas that enhance the environment and open space usage.*

**080. Landscape Design.**

- A. Requirement. In addition to the requirements in Section 385 of this Zoning Code, landscaping and supporting elements (such as trellises, planters, site furniture or similar features) shall be appropriately incorporated into the project design.
- B. Guidelines:
  - 1. Minimize tree removal and incorporate larger caliper trees to obtain the immediate impact of more mature trees when the project is completed.
  - 2. Provide frameworks such as trellises or arbors for plants to grow on.
  - 3. Incorporate planter guards or low planter walls as part of the architecture.
  - 4. Landscape the open areas created by building modulation.
  - 5. Incorporate upper story planter boxes or roof plants.
  - 6. Retain natural greenbelt vegetation that contributes to greenbelt preservation.
  - 7. On streets with uniform planting of street trees and/or distinctive species, plant street trees that match the street tree spacing and/or species.
  - 8. Use plants that require low amounts of water, including native drought-resistant species, and require low amounts of chemicals and fertilizers.

**A new Section 353, "Urban Center Zones," will be added to the Kitsap County Zoning Code, which shall read as follows:**

**353. Urban Center Zones**

**010. Purposes.**

- A. Purposes - Generally.

The general purposes of the urban center zones are as follows:

  - 1. To foster a development pattern offering direct, convenient pedestrian, bicycle, and vehicular access between residences and businesses, in order to facilitate pedestrian and bicycle travel and reduce the number and length of automobile trips.
  - 2. To provide for a compatible mix of single-family, multi-family housing and neighborhood commercial businesses and services, with an emphasis on promoting multi-story structures with commercial uses generally located on the lower floors and residential housing generally located on upper floors.

3. To promote a compact growth pattern to efficiently use developable land within UGAs, to enable the cost-effective extension of utilities, services and streets, to enable frequent and efficient transit service, and to help sustain neighborhood businesses.
4. To foster the development of mixed-use areas that are arranged, scaled and designed to be compatible with surrounding land.

**B. Specific Purposes for the Urban Village Center (UVC) Zone.**

This zone provides for a compatible mix of small-scale commercial uses and mixed-density housing, typically in multi-story buildings. Development within the zone should promote neighborhood identity, by providing a range of commercial retail and service opportunities in close proximity to housing. The UVC zone is intended to encourage flexible land uses, recognizing that the exact configuration of uses must be responsive to community needs and market conditions. Accordingly, commercial and residential uses may be mixed either vertically or horizontally in the UVC zone, though the more common configuration locates commercial uses on the lower floors of multi-story structures, with residential units located above. Residential densities within this zone may not exceed 18 units per net acre. Development within the UVC zone must occur in a manner that results in the design and construction of an interconnected system of pedestrian and bicycle trails and facilities linking the development in the UVC zone to surrounding residential neighborhoods, open spaces, recreational areas, and transportation corridors.

**C. Specific Purposes for the Urban Town Center (UTC) Zone. Reserved.**

**020. Uses.**

The uses set forth in the Urban Center Zones Use Table 353.020 are examples of the uses allowable in the Urban Village Center and Urban Town Center zones. The appropriate review authority is mandatory.

- "P" - Permitted;
- "SPR" - Site Plan Review, Section 410;
- "C" - Conditional uses, Section 420;
- "X" - Uses specifically prohibited; and
- "R" - Reserved.

**Urban Center Zones Use Table 353.020**

USES		UVC	UTC
<b>A. Residential</b>			
1.	Dwellings, single-family <sup>1</sup>	P	R
2.	Dwellings, two-family or duplex <sup>1</sup>	SPR	R

<b>USES</b>		<b>UVC</b>	<b>UTC</b>
3.	Cottage housing developments	SPR	R
4.	Townhouses (3 or more) <sup>1</sup>	SPR	R
5.	Dwellings, multi-family (up to 18 d.u. per net acre) <sup>1</sup>	SPR	R
6.	Dwellings, multi-family (more than 18 d.u. per net acre) <sup>1</sup>	X	R
7.	Residences above commercial uses in multi-story structures <sup>1</sup>	SPR	R
8.	Home businesses	P	R
<b>B. Retail Sales - General Merchandise</b>			
1.	General merchandise stores in excess of 25,000 square feet gross floor area	X	R
2.	General merchandise stores between 5,000 and 25,000 square feet gross floor area	C	R
3.	General merchandise stores less than 5,000 square feet gross floor area	SPR	R
<b>C. Retail Sales - Restaurants, Drinking Places</b>			
1.	Delicatessens/Restaurants	SPR	R
2.	Drive-in restaurants	X	R
3.	High turnover restaurants (excluding those with drive-through service)	SPR	R
4.	Brew pubs (where the manufacturing component is subordinate and accessory to a primary retail use)	SPR	R
5.	Brew pubs (where the retail component is subordinate and accessory to a primary manufacturing use)	X	R
6.	Drinking establishments (bars, cocktail lounges, night clubs and taverns)	SPR	R
<b>D. Retail Sales - Automotive Related Sales &amp; Services</b>			
1.	Motor vehicle/RV dealers - new and used	X	R
2.	Auto parts and accessory stores	X	R
3.	Service stations/fuel sales	X	R
4.	Boat dealers, marine supplies and repair	X	R
5.	Farm equipment and implement dealer	X	R
6.	Auto, truck, trailer and equipment rental or repair	X	R
7.	Car washes	X	R
<b>E. Retail Sales - Miscellaneous Stores</b>			
1.	Mobile home sales - new and used	X	R
2.	Farm and garden supplies, including nurseries	SPR	R
3.	Fuel distributors/bulk storage	X	R
4.	Laundromats and laundry services	SPR	R
5.	Lumber yards and building/construction materials	X	R
6.	Pharmacies	SPR	R
7.	Custom art and craft stores	SPR	R

USES		UVC	UTC
<b>F. Retail Sales - Products (Custom Fabricated, Processed, Assembled, Installed, Repaired, or Printed on the Premises within an Entirely Enclosed Building)</b>			
1.	Cabinet, electrical, plumbing, sheet metal, heating and air conditioning and welding shops	X	R
<b>G. Services - Business</b>			
1.	General office and management services	SPR	R
2.	Duplicating, addressing, blueprinting, photocopying, mailing, and stenographic services	SPR	R
3.	Mortuaries	C	R
4.	Office equipment service and repair shop	C	R
5.	Off-street parking facilities	SPR	R
6.	Mini-storage warehouses	X	R
7.	Auction house	SPR	R
8.	Vehicle towing and storage	X	R
9.	Financial and banking institutions	SPR	R
10.	Real estate brokers, agents and services	SPR	R
<b>H. Services - Lodging Places</b>			
1.	Bed and breakfast house within an existing structure (up to 4 guest rooms)	P	R
2.	Bed and breakfast house (up to 10 guest rooms)	SPR	R
3.	Hotel/motel	SPR	R
4.	Recreational vehicle camping parks	X	R
5.	Rooming houses	X	R
<b>I. Services - Medical &amp; Health</b>			
1.	Hospitals/health care campus	C	R
2.	Medical and dental laboratories	SPR	R
3.	Sanitaria, convalescent, and rest homes	SPR	R
4.	Animal hospitals	C	R
5.	Ambulance services	C	R
6.	Congregate care facilities	SPR	R
7.	Clinic, outpatient	SPR	R
8.	Residential care facilities	SPR	R
<b>J. Services - Amusement</b>			
1.	Amusement centers, indoor	SPR	R
2.	Amusement centers, outdoor	C	R
3.	Carnivals (temporary) and circuses (temporary)	X	R
4.	Health and racquet clubs	SPR	R
5.	Theaters, indoor	SPR	R
6.	Theaters, outdoor (drive-in)	X	R
7.	Sports facilities, including stadium and arena facilities	X	R

USES		UVC	UTC
<b>K. Services - Educational, Recreational</b>			
1.	Day-care centers	SPR	R
2.	Day-care centers, family	SPR	R
2.	Libraries	SPR	R
3.	Private schools	SPR	R
4.	Privately owned recreational facilities, pedestrian and bicycle trails and facilities	SPR	R
<b>L. Services - Membership Organizations</b>			
1.	Business, professional, civic, social and fraternal	SPR	R
2.	Religious places of worship	SPR	R
3.	Private community centers, halls, clubs, lodges, meeting places	SPR	R
<b>M. Public Services &amp; Facilities</b>			
1.	Police and fire stations	P	R
2.	Post offices	P	R
3.	Utility substations and related facilities	P	R
4.	Museums, galleries, historic and cultural exhibits and similar uses	SPR	R
5.	Publicly owned recreational facilities, services, parks, playgrounds, parkways, pedestrian and bicycle trails and facilities	SPR	R
6.	Sheltered transit stops	P	R
<b>N. Other</b>			
1.	Forestry	X	R
2.	Agriculture	X	R

<sup>1</sup>See subsections .030(A) and .050, below.

**Note:** Other similar uses which the Director finds to fit the purpose or intent of the zoning designation, in compliance with section 100.040 (Permitted Uses).

### **030. Densities Generally; & Density Limit for the South Kitsap UGA/ULID #6 Sub-Area.**

#### **A. Densities Generally.**

1. UVC Zone: Development is subject to a minimum density requirement of 10 dwelling units per net acre, and a maximum density of 18 dwelling units per net acre.
2. UTC Zone: Reserved.

#### **B. Density Limit for the South Kitsap UGA/ULID #6 Sub-Area.** Pursuant to the approved South Kitsap UGA/ULID #6 Sub-Area Plan, the maximum number of residential units permitted within the entire sub-area is 4,172,

until such time as a further population allocation is made to the sub-area. All residential development within the VC zone is subject to this density limitation. To ensure that the density limit for the sub-area is not exceeded, the Director shall use the County's Land Information System (LIS) to monitor the number of dwelling units remaining and available for development within the sub-area.

**040. Lot Requirements.**

A. Lot Size Requirements.

1. UVC Zone: No requirement.
2. UTC Zone: Reserved.

B. Yard Requirements.

1. UVC Zone Yard Requirements:
  - a. Front yard - no requirement.
  - b. Rear yard - no requirement.
  - c. Side yard - no requirement.
2. UTC Zone Yard Requirements: Reserved.

**050. Commercial & Residential Floor Area Limitations.**

A. Commercial Floor Area Limitations.

1. UVC Zone Commercial Space Limitations: The total gross floor area devoted to commercial use in any one structure within the UVC zone shall not exceed 25,000 square feet.
2. UTC Zone Commercial Space Limitations: Reserved.

B. Residential Floor Area Limitations. The total gross floor area devoted to residential use in any project development proposal shall not exceed two-thirds (2/3) of the total proposed gross floor area; PROVIDED, that an individual structure intended for future mixed commercial and residential uses may initially be used exclusively for residential use if designed and constructed for eventual conversion to mixed commercial and residential use, once the Urban Village Center or Urban Town Center matures.

**060. Height Regulations.**

- A. UVC Zone. No building or structure shall be hereafter erected, enlarged, or structurally altered to exceed forty-five (45) feet in height.
- B. UTC Zone. Reserved.

**070. Signs.**

Signs shall be permitted according to the provisions of Section 445.

**080. Off-Street Parking.**

Off-street parking shall be provided according to the provisions of Section 435.

**090. Master Planning Requirements for the South Kitsap UGA/ULID #6 Sub-Area.**

Consistent with Section 428, prior to any new development within an area zoned UVC in the South Kitsap UGA/ULID #6 Sub-Area, a master plan shall be prepared for the entirety of the UVC zone located within the South Kitsap UGA/ULID #6 Sub-Area prior to any new development, PROVIDED, that the Director may decrease the area within the sub-area that will be included in the Master Plan upon making a written finding that doing so will not adversely effect the provision of a coordinated system of open space, parks, recreational areas, transportation improvements and water and wastewater facilities within the entirety of the zone.

**A new Section 354, "Urban Center Zones - Design Criteria," will be added to the Kitsap County Zoning Code, which shall read as follows:**

**Sections:**

**010. How to Use the Design Criteria.**

**SITE DESIGN AND ORIENTATION - APPLICABLE TO ALL DEVELOPMENT IN THE VC & TC ZONES**

- 020. Site Design - Streets, Trails & Open Space.**
- 030. Site Design - Location & Use of Centers & Common Open Spaces.**
- 040. Site Design - Gateways & Focal Points.**
- 050. Site Design - Pedestrian/Sidewalk Orientation.**
- 060. Site Design - Fences & Walls Adjacent to Pedestrian Scale Streets.**

**COMMERCIAL & MIXED-USE BUILDING DESIGN,  
LANDSCAPING, & SIGNS**

- 070. Building Design - Commercial & Mixed Use.
- 080. Building Design - Creation of Human Scale.
- 090. Building Design - Building Wall Finishes for Stand Alone & Corner Site Buildings.
- 095. Building Design – Commercial Use with Ancillary Drive-Through Component.
- 100. Landscape Design for Mixed-Use Areas.
- 110. Landscape Design - Screening.
- 120. Landscape Design - Existing Trees.
- 130. Signs - Attached to the Building.
- 140. Signs - Freestanding.

**MULTI-FAMILY PROJECTS IN THE VC & TC ZONES  
(INCLUDING TOWNHOUSES OF 5 UNITS OR MORE)**

- 150. Site Design - Orientation.
- 160. Site Design - Parking Location & Design.
- 170. Site Design - Mailboxes, Site Lighting, & Transit Stops.
- 180. Site Design - Screening.
- 190. Building Design - Neighborhood Scale.
- 200. Building Design - Privacy.
- 210. Building Design - Facade, Footprint, & Roof Articulation.
- 220. Building Design - Entries.
- 225. Building Design - Windows.
- 230. Building Design - Materials & Colors.
- 240. Signs.

**OTHER RESIDENTIAL DEVELOPMENT IN THE VC & TC ZONES:  
DUPLEX & MANUFACTURED HOUSING, COTTAGE HOUSING & SINGLE  
FAMILY HOUSING**

- 250. Duplex, Triplex, Etc. - Applicability.
- 260. Building Design - Roof Form & Architectural Detail.
- 270. Building Design - Entries.
- 280. Building Design - Garage Design.
- 290. Building Design - Materials & Colors.

**ACCESSORY DWELLING UNITS (ADU) IN THE VC & TC ZONES**

- 300. Site & Building Design - Privacy.
- 310. Building Design - Entry Features.
- 320. Building Design - Materials & Colors.

## COTTAGE HOUSING IN THE VC & TC ZONES

### 330. Site Design - Cottage Housing.

#### DEFINITIONS

#### 340. *Reserved*

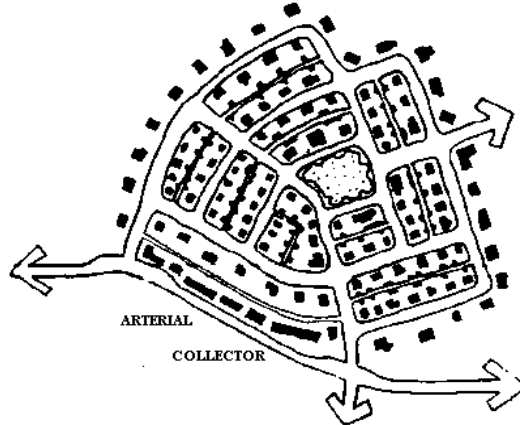
#### 010. How to Use the Design Criteria.

The "requirement sections" in the following design criteria for Kitsap County apply to each project requiring site plan review under Section 410 of this ordinance, or conditional use review under Section 420 of this ordinance. These design criteria are intended to supplement the development standards of the VC and TC zones. Where the provisions of this Section 354 conflict with the provisions of the VC and TC zones in Section 353, the provisions of the zoning district shall apply. The "guidelines" that follow each requirement statement are suggested ways to achieve the design intent. Each guideline is meant to indicate the preferred conditions, but other equal or better design solutions will be considered acceptable by the Director or Hearing Examiner, so long as these solutions meet the intent of these sections. Where a requirement and/or guideline is followed by the abbreviations VC or TC - these requirements and/or guidelines are applicable to that particular zone found in Section 353. ~~Nothing in these design criteria shall be construed to create a duty on the part of the County or its officers, agents and employees with respect to the health, safety or welfare of the users of the structures and surroundings mentioned herein.~~

#### 020. Site Design - Streets, Trails & Open Space.

- A. Requirement. Arrange the streets and trails on the site so that the central internal open space and other community facilities can be accessed from all areas of the development without using an arterial street. The street layout shall be a modified grid street pattern adapted to the topography, unique natural features, and environmental constraints of the site. The street layout shall provide direct convenient access to the Village or Town Center, community focus areas, and internal open space areas, and shall showcase gateways and vistas. When making connections with adjacent neighborhoods, use traffic calming techniques where necessary. Public access shall be provided to water bodies that fall within the jurisdiction of the Shoreline Management Act.
- B. Guideline.
1. Street layout should have a minimum of two (2) interconnections with the existing public street system rated as an arterial or collector (VC, TC).
  2. The modified grid street pattern should define blocks that are two hundred fifty (250) to three hundred fifty (350) feet long (VC, TC).

3. When a block face is longer than three hundred fifty (350) feet, an alley should be provided with through access to another street or alley (VC, TC).
4. Street layout that includes access from alleys to development is preferred (VC, TC).
5. Blocks should be designed to have a maximum length of six hundred (600) feet from street to street and should either continue through the intersection or terminate in a "T" intersection directly opposite the center of a building, an internal open space area, or a view into a peripheral open space area (VC, TC).



*Diagram of a modified grid street pattern built around a Village or Town Center. Note the connections to the surrounding street system. Each Village or Town Center must have at least two (2) peripheral attachments.*

6. A majority of the streets should be curved or terminated so that no street vista is longer than one thousand two hundred (1,200) feet (VC, TC).
7. Provide a connected system of recreation areas, trails, and natural open spaces that are linked to the Village or Town Center and to natural features by streets or foot paths (VC, TC).
8. Provide street linkages, including pedestrian and bike facilities to adjacent developments and neighborhoods where possible (VC, TC).
9. Encourage pedestrian accessibility from adjacent residential neighborhoods by the use of through-block connections or other accessibility methods (VC, TC).
10. Where there are wildlife habitat areas on a Village or Town Center site, connect them to adjacent habitat areas to facilitate wildlife movement (VC, TC).

### **030. Site Design & Orientation - Location & Use of Centers & Common Open Spaces.**

- A. Requirement. Common open space shall be used for social, recreational, and/or natural environment preservation purposes. It shall include at least

one internal open space (such as a Village Center Park) that will serve as a center around which commercial, mixed use, and some higher density housing may be located (VC, TC).

B. Guideline.

1. An internal open space should be designed as a center park, town square, or urban park, should be an active gathering place in both day and evening, and should include places for strolling, sitting, social interaction, and recreation (TC, VC).
2. All commercial development in villages and centers should be within approximately six hundred (600) feet of an existing or planned transit stop (TC, VC).
3. Surround the center park with a concentration of high-density development that may include commercial, residential, public and semi-public uses, community clubs, and community facilities (TC, VC).
4. The center park should be landscaped using elements such as formal gardens, walkways, monuments, statues, gazebos, fountains, park benches, children's play equipment, small playfields and pedestrian-scale lamp posts (VC, TC).
5. Internal open spaces should be landscaped with trees and shrubs that do not visually obstruct scenic vistas (VC, TC).
6. A center green or plaza should have a distinct geometric shape. Streets with curbside parking may surround it, or it may abut major commercial, residential, civic, or other buildings, achieving a sense of scale and enclosure from them. While a center plaza should include trees, shrubs, and other landscape materials, it may emphasize decorative paving and other materials and surfaces appropriate to high pedestrian traffic areas (VC, TC).

**040. Site Design & Orientation - Gateways & Focal Points**

A. Requirement. Distinct or prominent buildings shall be located at gateways within a Village or Town Center at focal points, such as corner sites, or at points of visual termination (VC, TC).

B. Guideline.

1. Prominent, monumental buildings or structures should mark gateways, focal points, or points of visual termination. This can be accomplished by using:
  - a. Distinct massing (such as the use of recessed entries, contrasting materials and architectural features that identify a bottom, middle and top of a building);
  - b. Additional height or the appearance of enhanced height (such as with the use of roof pitches and shapes, or cornice detail); and/or

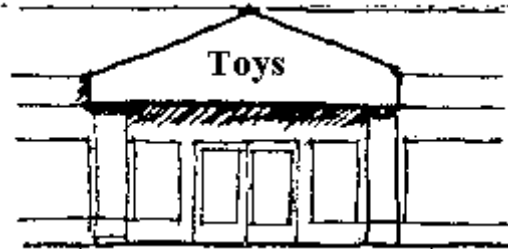
- c. Distinct architectural embellishments or ornamentation that break up and create variety on flat facades.



*Focal points should terminate views down streets.*



*Gateway buildings should mark transition areas.*



*Provide a clear sense of entry upon arrival to the building*

## **050. Site Design & Orientation - Pedestrian/Sidewalk Orientation.**

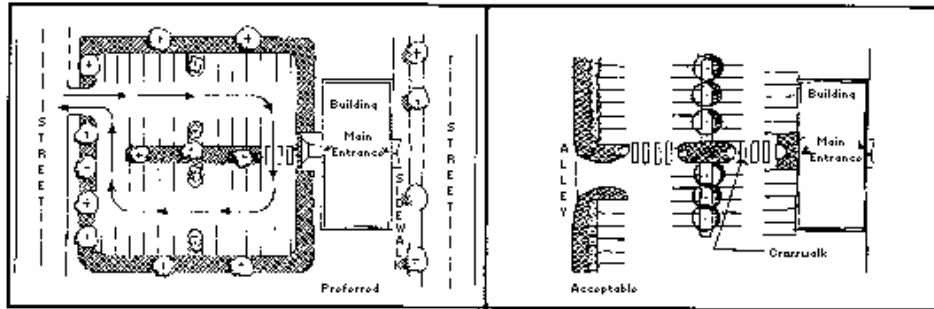
A. Requirement. Create an interesting street that is visually attractive, and easy to use for pedestrians who will live, work or shop in the area.

1. Buildings internal to a Village or Town Center shall generally face and be located on pedestrian streets. This will allow entries, display windows, and building facades to create a continuous row of storefronts and residences.

2. Parking shall be clustered and/or located on the side or behind buildings and be designed in a way that gives pedestrians access to building entrances that are as direct as possible (VC, TC). Exceptions to building and parking orientation may be made for grocery stores. The orientation and facade of a building adjacent to an arterial or major collector shall be designed to enhance the adjacent neighborhood.
3. Buildings and parking lots located adjacent to an arterial or major collector on the edge of a village or center shall be designed and oriented to:
  - a. Maximize the presence and prominence of the building on village corners and at gateways; and
  - b. Minimize the presence and prominence of parking lots.
4. Where a building entry faces a parking lot, pedestrian linkages to the internal street network must be as pleasant, visible, well lit, and direct as possible (VC, TC).

B. Guideline.

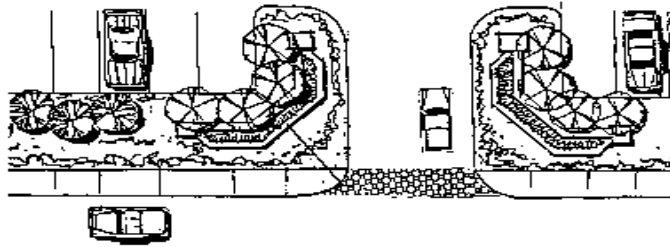
1. Orientation:
  - a. Store fronts should face the core area, center park, and/or sidewalk of the streets on the site (VC, TC).
  - b. Buildings fronting on a center park, green or plaza should be at least two (2) stories high (VC, TC).
  - c. Corner lots at major street entry points or Village or Town Center areas should be occupied by buildings or structures designed to emphasize their prominent location (VC, TC).
  - d. Locate service and delivery away from the main streets where possible, using alleys or side streets where possible (VC, TC).
  - f. Site design should accommodate transit on transit routes:
    - i. bordering the site, and
    - ii. within a core area that may have transit service (VC, TC).
2. Enhanced Pedestrian Access:
  - a. Direct pedestrian access should be provided from sidewalks and parking lots to building entrances, bus stops, and adjacent buildings. Where practical and consistent with the other provisions of the zone, parking isles should be aligned perpendicular to the building, and pedestrian access should be separate from vehicular travel lanes (VC, TC).



*Parking isles perpendicular to a building entrance are preferred to allow easy and safe connection to building entrances. A convenient pedestrian walkway should be provided between a sidewalk and the building entrance where a sidewalk is separated by a parking lot*

- b. Where a parking lot separates a building entrance from a sidewalk in the rights-of-way, a pedestrian walkway at least six (6) feet in width should be provided connecting the street, the sidewalk and the building entrance. Such crossings should be clearly marked (VC, TC).
  - c. Define walkways with vertical plants (such as trees or shrubs) and lighting (VC, TC).
  - e. Street lights, utility poles, benches, trees, trash receptacles and similar streetscape fixtures should, to the greatest extent practical, be situated so that sidewalks in the rights-of-way have a passable width of at least five (5) feet (VC, TC).
  - f. A walkway or shared bike/pedestrian network should be provided throughout the site that interconnects all dwelling units with other units, nonresidential uses, and common open space. Bike and pedestrian ways should be part of the the street and alley network, but additional connections may be provided (VC, TC).
3. Enhanced Pedestrian Amenity: Walkway materials and patterns and pedestrian amenities such as benches, shelters, trash receptacles, street trees, pedestrian lighting, and drinking fountains should be coordinated to provide some uniformity of design throughout the site. Such improvements should comply with any applicable, adopted streetscape plan and should be incorporated into the Village or Town Center (VC, TC).
  4. Possible amenities include:
    - a. Walls and planters that can be used for seating (VC, TC);
    - b. Seating in a variety of locations such as places that are sunny, sheltered from the rain and wind, or shaded in the summer (VC, TC);
    - c. Fountains or sculpture incorporated into small under-utilized areas (VC, TC);
    - d. Seating that allows users to observe the activities of the street or enjoy a scenic view (VC, TC);

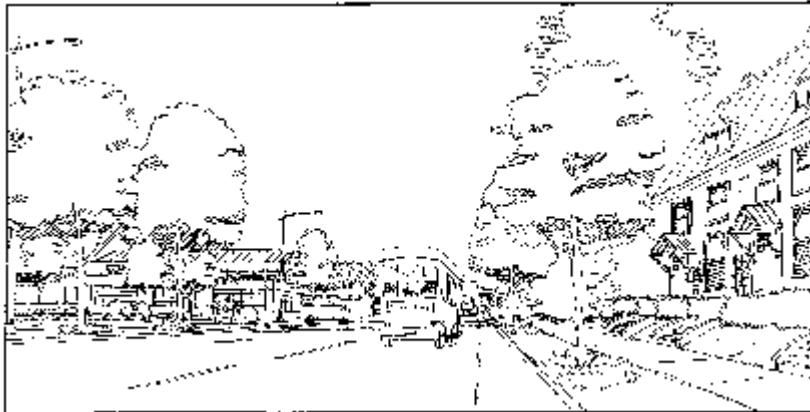
- e. Plazas and courtyards with fountains, sculpture, mobiles, flower boxes, kiosks, banners, etc. (VC, TC);
  - f. Street vendor stations where allowed (VC, TC); and
  - g. Bike racks (VC, TC).
5. Add Character and Visual Diversity to Walkways.
- a. Use a change in color and materials such as pavers, brick, stone, and exposed aggregate set in patterns to add interest and variety to walking surface (VC, TC).



*Pavers can be used to clearly identify pedestrian areas*

- b. Identify street crossings through changes in color, materials, or patterns (VC, TC).
  - c. Separate the pedestrian from the street by placing planters, street trees and planter strips, bollards, or similar elements at the street edge of the sidewalk (VC, TC).
  - d. Encourage the use of alleys by pedestrians by providing alleys with lighting, plantings, and paving materials in areas of the site where the alley is or may be used as a pedestrian link (VC, TC).
6. On-Site Parking.
- a. Parking shall be located on the side or behind the buildings, because the goal is to have buildings as the dominant feature on corner lots (VC, TC).
  - b. Off-street parking should have access from alleys or from streets at locations that do not conflict with pedestrian circulation in the center park or main street (VC, TC).
  - c. Minimize the apparent width of parking lots that are located adjacent to the street through landscaping and screening (VC, TC).
  - d. Limit parking lots to thirty (30) percent of the street frontage of the property. Exceptions may be considered for grocery store parking lots. An exempted grocery store parking lot should not face a center park or plaza (VC, TC).
  - e. Maintain the building line by screening parking lots that abut the street. Hedges, fences, raised planters, and low walls combined with plantings are possible solutions, as long as they do not obscure vehicular sight lines necessary for

- safety. Also consider extending the facade of a building with parking located behind it (VC, TC).
- f. Where parking structures or covered parking faces the street, at least sixty percent (60%) of the parking structure facing the street between two (2) and eight (8) feet above the sidewalk should incorporate at least one of the following treatments where pedestrian-oriented businesses are located along the façade of the structure (VC, TC):
    - i. transparent windows (with clear or lightly tinted glass);
    - ii. display windows;
    - iii. decorative metal grille work or similar detailing that provides texture and covers parking structure openings (not including entrances & exits);
    - iv. art or architectural treatment such as sculpture, mosaic, glass block, opaque art glass, relief art work, or similar features; or
  - g. Vehicle entries to garages should be recessed at least six (6) feet from the primary facade plane in order to minimize their prominence.
7. Lighting. To accent structures, conserve energy and provide visibility and security with lighting, consider the following (VC, TC):
    - a. Use lighting to accent key architectural elements or to emphasize landscape features (VC, TC);
    - b. Provide well-lighted pedestrian sidewalks and alleys in accordance with adopted County standards (VC, TC);
    - c. Locate lighting so as not to have a negative impact on adjacent properties such as shining off site into adjacent buildings (VC, TC); and
    - d. Decorative street lights should be placed at regular intervals throughout the development (VC, TC).
  8. Physical Context. Conform floor elevations to sidewalk grades where possible, except for residential units where first floors may be elevated two to four (2-4) feet above grade to provide privacy (VC, TC).



*Entries to residential units with small setbacks are raised two to four (2-4) feet above the sidewalk grade to provide privacy for residents.*

9. Consolidation.
  - a. Consider using common wall side-by-side development with continuity of facades (as allowed by Section 353.050, Lot Requirements) (VC, TC).
  - b. Consolidate required parking for several businesses within one (1) parking lot, wherever possible (VC, TC).

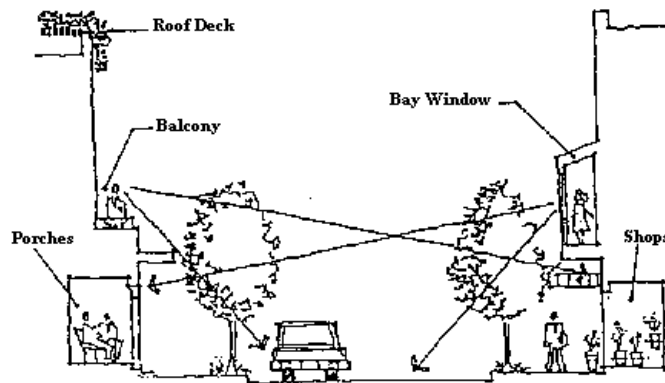
**060. Site Design & Orientation - Fences & Walls Adjacent to Pedestrian Scale Streets.**

- A. Requirement. Design the site to minimize the need for fences and walls that inhibit or discourage pedestrian use of sidewalks or paths, isolate neighborhoods, or separate neighborhoods from main roads. Allow exceptions where necessary to reduce noise, provide buffers or create private yards (VC, TC).
- B. Guideline.
  1. Consider shrubs and natural landscaping, wherever possible, as an alternative to fences and walls.
  2. Where fences or walls are necessary to reduce noise, provide buffers, or create private yards, consider the following guidelines to maintain a pedestrian scale along the street (VC, TC):
    - a. Provide art (mosaic, mural decorative masonry pattern, sculpture, relief, etc.) over a substantial portion of the blank wall surface (VC, TC);
    - b. Employ small setbacks, indentations, stepped fence heights, or other means of breaking up the wall or fence surface and height (VC, TC);
    - c. Employ different texture, colors, or materials (including landscape materials) to break up the wall's surface (VC, TC);

- d. Provide special lighting, a canopy, awning, horizontal trellis or other pedestrian-oriented feature that breaks up the size of the blank wall's surface and adds visual interest (VC, TC); and
- e. If fencing is required, repeat the use of facade building materials on fence columns and/or stringers (VC, TC).

**070. Building Design - Commercial & Mixed-Use.**

A. Requirement. Maintain interest in buildings at the street level by orienting active uses (such as retail storefront window displays or restaurants) to the street and center park where possible (VC, TC). Commercial and mixed-use buildings shall appear to create a 'pedestrian shopping street' with a clearly defined street edge and clearly defined entries.



*An active street that is human scale and attractive to pedestrians.*

The rear of these buildings shall be designed so that they are also accessible from rear lot parking where necessary, and are not obtrusive to adjacent neighbors (VC, TC). Buildings shall avoid long, monotonous uninterrupted walls or roof planes. Buildings shall use articulation and/or modulation on all walls that are visible to pedestrians (VC, TC). Buildings occupying corners shall be designed as more dramatic structures to emphasize their prominent locations (VC, TC).

B. Guideline:

1. Building materials and colors may include any of the following:
  - a. Masonry, wood, stucco, concrete, stone, and tile, each broken into small modules (VC, TC);
  - b. Accent or trim colors are encouraged (VC, TC).
2. Building elements should employ the following:
  - a. Vertical and horizontal relief in the facade that identifies a bottom, middle and top of the building (VC, TC);
  - b. A clearly defined pedestrian entry facing the street (VC, TC);

- c. Window systems grouped together to form larger areas of glass separated by moldings or jambs (VC, TC); and
- d. Awnings, canopies, marquees, building overhangs, or similar form of pedestrian weather protection at least four and one half (4½) feet wide along at least eighty percent (80%) of the frontage of buildings that abut a pedestrian street (VC, TC).



*Align the bottom edge of awnings, canopies or marquees on a group of buildings so that the unity of the store front line is maintained with adjacent buildings.*

- 3. Building Proportions - Size, Height and Bulk:
  - a. Use design techniques that minimize the apparent size of the building such as:
    - i. Building setbacks on upper levels (VC, TC);
    - ii. Curved or articulated surfaces (VC, TC);
    - iii. Recessed entries (VC, TC);
    - iv. Roof lines, pitches and shapes (VC, TC);
    - v. Cornices (VC, TC);
    - vi. Building ornamentation (VC, TC);
    - vii. Overhangs and soffits (VC, TC);
    - viii. Dormers, balconies and porches that clearly define street-facing entries to residential properties (VC, TC);
    - ix. Building fenestration and detailing (store front or multi-paned windows for residential units) (VC, TC); and
    - x. Awnings and marquees (VC, TC).
  - b. Buildings on corner lots may be designed with additional height and architectural embellishments such as corner towers to emphasize their location (VC, TC).



*Corner buildings should be designed as more dramatic structures to emphasize their prominent location.*

4. Exterior Wall Treatments:
  - a. Consider providing accessible views into interior activities of office and commercial buildings from the street. For example, use a high proportion of clear glass at the street level or have displays or services directly available from the street where appropriate (VC, TC).
  - b. In mixed-use buildings, the difference between ground floor commercial uses and entrances for upper level commercial or apartment uses may be reflected by differences in facade treatment. Differentiation can be achieved through distinct but compatible exterior materials, signs, awnings and exterior lighting (VC, TC).
  - c. One or more of the following wall treatments are required for building faces fronting on a sidewalk that exceed thirty (30) feet in length, and should cover or comprise at least sixty percent (60%) of the building face between two (2) and eight (8) feet in elevation above the sidewalk.
    - i. Clear or lightly tinted windows that are transparent when viewed from the sidewalk; (VC, TC);
    - ii. Ornamental and structural architectural details: mosaic, decorative masonry or tile, surface texture, relief art work, sculpture or murals (VC, TC);
    - iii. Climbing plants, vines, trees or other vegetation (VC, TC); or
    - iv. A pedestrian area located along the southern, eastern, or western exposure of a building face at a transit stop, intersection corner, or other location identified in an adopted streetscape plan may substitute for the wall treatments listed above (VC, TC).

**080. Building Design - Creation of Human Scale.**

- A. Requirement. Use design elements that result in buildings that maintain a human scale street. These design elements are also useful and should be considered when commercial buildings abut residential development (VC, TC).
- B. Guideline:
  - 1. Use rooflines to maintain a consistent & apparent scale, and reinforce or create architectural character on a street (VC, TC).
  - 2. Use architectural features such as cornices or other details that lower the apparent height (VC, TC).
  - 3. Use *modulation* (stepping back and stepping forward) and *articulation* on building facades to reduce the bulk of buildings (VC, TC). Articulation methods include:
    - a. Broken rooflines; and
    - b. Building elements such as balconies, chimneys, porches or other entry details, and landscaping.
  - 4. Place display windows and retail shops at the street level around the exterior of larger buildings (VC, TC).

**090. Building Design - Building Wall Finishes for Stand Alone & Corner Site Buildings.**

- A. Requirement. Ensure buildings have consistent visual identity from all sides visible to the general public (VC, TC).
- B. Guideline:
  - 1. Continue exterior materials, architectural detailing, and color scheme around all sides of the building visible to the general public (VC, TC).

**095. Building Design – Commercial Use With Ancillary Drive-Through Component.**

- A. Requirement. Locate the main entry to a bank, dry cleaner, coffeehouse, or other commercial use with ancillary drive-through component on a pedestrian-oriented street. Orient drive-through facilities in a way that ensures minimal disruption on the street edge. Such commercial uses with an ancillary drive-through component are prohibited from locating directly on the street that surrounds the center park or square (VC, TC).
- B. Guideline:
  - 1. Design the drive-through window so that it is clearly subordinate to the main building (VC, TC);

2. Where the drive-through is a separate structure, use architectural details that conform to those used on the main building (VC, TC);
3. Minimize curb cuts and the disruption of a sidewalk by:
  - a. Making the width of the lane approaching the window as narrow as possible; and
  - b. Using landscaping and planters to provide a street edge adjacent to the sidewalk (VC, TC).

**100. Landscape Design for Urban Village & Town Centers.**

- A. Requirement. Treat plantings and other landscape elements as enhancements to the built environment. Street trees shall be planted along each side of all streets (VC, TC).
- B. Guideline:
  1. Employ any of the following planting techniques for landscape design:
    - a. Small planting areas with flowering shrubs (VC, TC);
    - b. Trimmed hedges, window boxes, hanging flower baskets (VC, TC);
    - c. Use of shrubs or vines trained to grow upright on wires or trellises (espaliers) next to blank walls with narrow planting areas (VC, TC);
    - d. Isolated trees installed in pavement cutouts (VC, TC);
    - e. Street trees should be massed at critical points such as at focal points along a curve in a roadway (VC, TC);
    - f. Low maintenance, low chemical dependent drought-tolerant plant materials should be used (VC, TC);
    - g. Repeat similar tree and shrub types to coordinate old and new phases of development and provide visual continuity (VC, TC);
    - h. Limit varieties of plant types, use shrubs in multiples of similar types, and avoid a haphazard mixture of textures, colors and plant types (VC, TC);
    - i. Include a well-landscaped surface stormwater treatment area in the landscape design where surface stormwater treatment is provided (VC, TC);
    - j. Retain natural greenbelt vegetation that contributes to greenbelt preservation (VC, TC);
    - k. The owners will provide regular maintenance to ensure that plants are kept healthy and dead or dying plant materials are replaced (VC, TC);
    - l. Landscape open areas created by building modulation (VC, TC);
    - m. Incorporate upper story planter boxes or roof plants into facades that can be seen by pedestrians (VC, TC); and

- n. Emphasize entries with special planting in conjunction with decorative paving and/or lighting (VC, TC).

**110. Landscape Design - Screening.**

- A. Requirement. Use landscaping to help define, break up and screen parking areas. Landscaping shall provide a separation between incompatible land uses or activities (such as a parking lot next to the bedrooms of a residential structure). Landscaping shall also provide a physical or visual barrier for service areas, mechanical equipment, loading docks or similar areas (VC, TC).
- B. Guideline:
  - 1. Canopy trees (able to spread and shade) should be added to parking areas - there should be no more than six (6) parking spaces in a row without a landscape peninsula within the parking area having a two (2) inch caliper tree, shrubs, and ground covers (VC, TC).
  - 2. Wheel stops, curbs, or walkways should be used to protect landscaping from being run over by vehicles in the parking lot (VC, TC).
  - 3. Consider screening with the use of hedges, densely planted shrubs, evergreen trees, or combinations of these (VC, TC).
  - 4. Screen parking from the street with low walls or fencing that maintain building facades, but also maintain vehicular sight lines at the corners and security for customers (VC, TC).
  - 5. If fencing is required, repeat the use of facade building materials on fence columns and/or stringers (VC, TC).
  - 6. Berms, walls and fences are encouraged in combination with trees, shrubs and vines to screen parking lots (VC, TC).
  - 7. Raised planter boxes of concrete, stone, wood, brick or other compatible materials can provide useful separation and screening (VC, TC).
  - 8. Locate appropriate landscape materials near building walls or service areas where screening is needed. Large planters may be used as alternative solutions (VC, TC).
  - 9. Planters may be placed at the end of bays, on the interior or between rows of parking stalls, providing linear strips for plantings. Use of compact parking spaces as allowed provides some flexibility in design (VC, TC).
  - 10. Unrelieved blank walls with narrow planting areas can be softened with espaliered shrubs or vines (VC, TC).



*Vines, hardy shrubs and columnar trees used to landscape a narrow planting bed.*

## **120. Landscape Design - Existing Trees.**

- A. Requirement. Healthy existing trees, that are unique due to size, species, historical association or other factors, shall be incorporated into the landscaping whenever possible and if appropriate to the site at their mature size (VC, TC).
- B. Guideline:
1. Retain healthy mature trees where possible (VC, TC);
  2. Design the site to preserve unique specimens (VC, TC);
  3. Minimize site alteration, soil disturbance, and compaction within the drip line of existing trees (VC, TC);
  4. Provide a tree well or other form of protection where the surrounding grade must be raised (VC, TC);
  5. Fence around drip line during construction (VC, TC); and
  6. Incorporate the tree plan into the landscape plan (VC, TC).

## **130. Signs - Attached to the Building.**

- A. Requirement. Provide adequate signs for businesses while maintaining the building's architectural integrity, by locating signs so that building details shall not be covered or obscured (VC, TC). Signs shall conform to the requirements set forth in Section 445 of this Zoning Ordinance.
- B. Guideline:
1. Use sign panel shapes that accentuate the building's architectural forms (VC, TC);

2. Use window signs where wall signs would detract from architectural elements of the building facade. Symbols for the business such as a pair of eyeglasses can be used to add detail that can be viewed from the sidewalk (VC, TC);
3. Keep signs subordinate to the building design (VC, TC);
4. Coordinate colors with the colors of the building (VC, TC);
5. When several businesses share the same building, use directory signs where possible and use similar sizes and types of signs (VC, TC); and
6. Addresses must be clearly visible from the street edge (VC, TC).

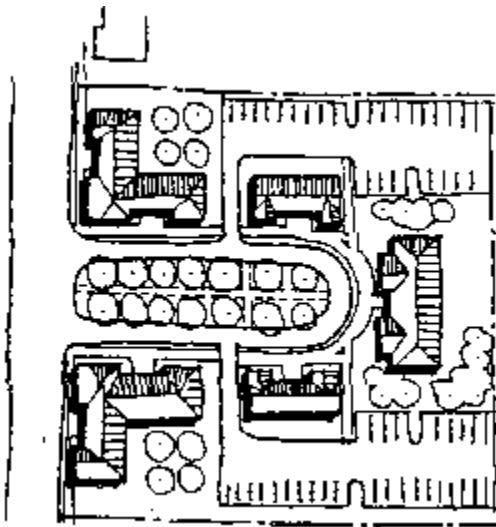
**140. Signs - Freestanding.**

- A. Requirement. Provide adequate signage for businesses when building mounted signs cannot be used because they will obscure the architectural details of the building (VC, TC). Signs shall conform to the requirements set forth in Section 445 of this Zoning Ordinance.
- B. Guideline:
  1. A key design feature should be a compact building pattern with buildings located close to and behind the sidewalks and street trees separating the sidewalk from moving vehicles. In an effort to reduce the number of view obstructions in Village and Town Centers, signs should be attached to the building. However, where buildings are set back from the sidewalk and/or property line, freestanding signs would be an appropriate second choice using the following guidelines:
    - a. Freestanding signs should be limited in size and height. The maximum height should be four (4) feet above grade (VC, TC);
    - b. For visual clarity, the lettering style and colors should be limited to two (2) lettering styles and three colors (VC, TC); and
    - c. Incorporate signs in planters or as screening walls (VC, TC).

**150. Multi-Family - Site Design - Orientation.**

- A. Requirement. Design multi-family projects to be oriented towards the core area or center park/plaza in the Village or Town Center (VC, TC).
- B. Guideline:
  1. Use a modified street grid system with buildings fronting on a street (VC, TC).
    - a. Parking areas should be located behind or under buildings and accessed from alley-type driveways. If driveway access

- from streets is necessary, minimum-width driveways meeting the fire access standards should be used (VC, TC);
- b. Each building should have direct pedestrian access from the street fronting the building and from the back where the parking is located (VC, TC).
2. Another alternative may be to orient the buildings into U-shaped courtyards where the front door/main entry into the building is from a front courtyard. Access to the courtyard from the rear parking area should be through a well-lighted breezeway or stairway. This alternative will work where projects abut an arterial or major collector street where the quality of living could be enhanced with buildings facing into the courtyard. The buildings would still be located between the street and the parking lot (VC, TC).



**160. Multi-family - Site Design - Parking Location & Design.**

- A. Requirement. Minimize the impact of driveways and parking lots on pedestrians and neighboring properties by designing and locating parking lots, carports, and garages in a way that creates few interruptions on the street, sidewalk or building facade (VC, TC).
- B. Guideline:
  1. Locate surface parking at rear or side of lot (VC, TC);
  2. Break large parking lots into small ones, and share with adjacent property owners where possible (VC, TC);
  3. Minimize the number and width of driveways and curb cuts (VC, TC)
  4. Share driveways with adjacent property owners (VC, TC);
  5. Locate parking in areas that are less visible from the street (VC, TC);
  6. Locate driveways so they are visually less dominant (VC, TC);

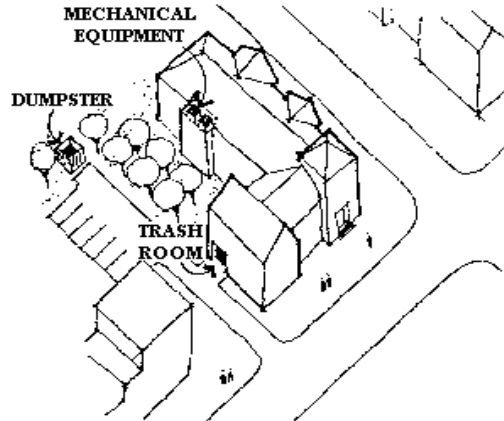
7. Berm and landscape parking lots when they are visible from the street (VC, TC);
8. Screen parking lots abutting single-family residences with landscaping and/or fencing (VC, TC); and
9. Limit parking lots on street frontages to thirty percent (30%) of the street frontage (VC, TC).

**170. Multi-Family - Site Design - Mailboxes, Site Lighting, & Bus Stops.**

- A. Requirement. Provide adequate lighting and pedestrian access to mailboxes, and bus stops (VC, TC).
- B. Guideline:
  1. Mail Boxes. If common mailboxes are used, they should be located near the project entry or any recreational facilities, as approved by the U.S. Postal Service. The architectural character should be similar in form, materials, and colors to the surrounding buildings. Mail boxes should be well lit and pedestrian-accessible (VC, TC).
  2. Site Lighting.
    - a. Site lighting (pedestrian-scale, low-level lighting) should be provided throughout, and located at the walkways (VC, TC);
    - b. Security lighting should be provided in the parking areas, play areas and bus stops (VC, TC);
    - c. Lighting should not shine into the dwelling units on the site (VC, TC); and
    - d. Lighting should be directed away from neighboring development (VC, TC).

**180. Multi-Family - Site Design - Screening.**

- A. Requirement. Provide adequate screening for support facility needs associated with multi-family developments (VC, TC).
- B. Guideline: Support areas should be located adjacent to parking areas and should be fully screened with a minimum six (6) foot high fence. The screening material should match the main buildings, and the perimeters planted with shrubs and ornamental trees (VC, TC).



*Service elements located away from the street edge and not generally visible from the sidewalk.*

**190. Multi-Family - Building Design - Neighborhood Scale.**

- A. Requirement. Architectural scale of those portions of a multi-family building facing a neighborhood with a different scale shall use design techniques that minimize the contrast in scale (VC, TC).

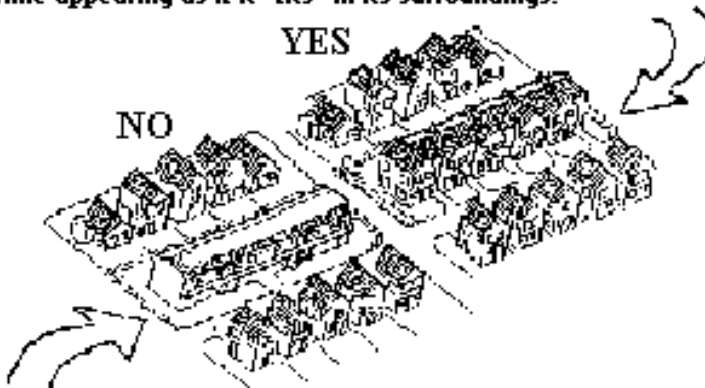


*This higher density multi-family building "steps back" to conform to the abutting lower density property. This use of modulation helps the multi-family building fit into the neighborhood.*

B. Guideline:

1. Use house-size building elements when locating a multi-family project adjacent to a single-family neighborhood by employing any of the following techniques:
  - a. Place one (1) and two (2) story units adjacent to existing one story houses, and two (2) and three (3) story units adjacent to existing two (2) story houses (VC, TC);
  - b. Use wall plane articulation/modulation to break a multi-family building into house size building elements, especially where there is a building height transition (VC, TC);
  - c. Design the exterior of multi-family buildings to appear as a single building, such as a large single-family detached dwelling (VC, TC).

**Preferred:** This is a multifamily building which has been built on an identical site, but whose design has taken clues from the neighborhood. This building covers roughly the same lot area and provides for the same number of units while appearing as if it "fits" in its surroundings.



**To be avoided:** This multifamily building has been built on a site surrounded by single family development. The building bears no resemblance to the existing surrounding buildings and looks out of place.

## **200. Multi-Family - Building Design - Privacy.**

- A. Requirement. Orient buildings to provide privacy, to the extent practical, both within the multi-family project and for the neighborhood (VC, TC).
- B. Guideline:
  - 1. Locate windows so that residents from one unit cannot look directly into another unit (VC, TC);
  - 2. Locate parking lots so that they do not impose on the ground floor units' privacy. If this is not feasible, locate buildings so that adequate landscaping can be planted to provide privacy (VC, TC).

## **210. Multi-Family - Building Design - Façade, Footprint, & Roof Articulation.**

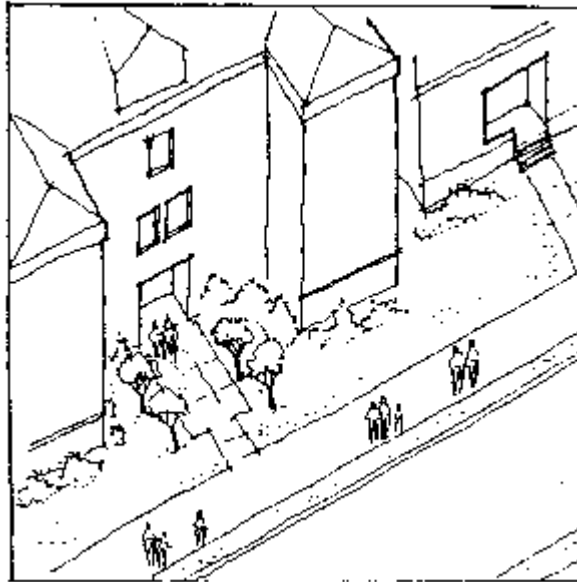
- A. Requirement. Avoid the barracks-like quality of flat walls and roofs by separations, changes in plane and height, and the inclusion of elements such as balconies, porches, arcades, dormers, and cross gables (VC, TC).
- B. Guideline:
  - 1. Buildings should be divided and given human scale by using articulation and/or modulation at least every thirty (30) feet. Ways to do this include the following:
    - a. Façade modulation - stepping back or extending forward a portion of the façade at least six (6) feet (measured perpendicular to the front façade), for each interval (VC, TC);

- b. Articulating each interval with architectural elements like porches, balconies, bay windows and/or covered entries (VC, TC);
  - c. Articulating the roofline by stepping the roof and by emphasizing dormers, chimneys, gables (VC, TC); and
  - d. Providing a ground or wall mounted light fixture, a trellis, a tree, or other site feature within each interval (VC, TC).
2. Reduce the apparent size of multi-family buildings by using:
- a. Roof design that employs:
    - i. gable, gambrel or hipped roof;
    - ii. broken or articulated roof line;
    - iii. prominent cornice or fascia that emphasizes the top of the building, or
    - iv. other roof elements that emphasizes a building's concept and enables it to fit in with neighboring structures with prominent roofs (VC, TC);
  - b. Using architectural details that are well proportioned to achieve human scale such as:
    - i. entry details like covered porches and recesses;
    - ii. occupiable spaces like bay windows and balconies;
    - iii. window details like vertically proportioned window openings which are recessed into the face of the building and broken up with smaller panes of glass;
    - iv. roof details like brackets, chimneys, roof overhangs of at least 16" (measured horizontally), or roof cornice elements at least 12" in width (measured vertically);
    - v. windows that are trimmed to create relief in the facade by being detailed to appear to recede into the building face (VC, TC).
3. Where parking structures or covered parking faces the street, at least sixty percent (60%) of the parking facade facing the street between two (2) and eight (8) feet above the sidewalk should incorporate at least one of the following treatments where pedestrian-oriented businesses are located along the façade of the structure (VC, TC):
- a. Transparent windows (with clear or lightly tinted glass);
  - b. Display windows;
  - c. Decorative metal grille work (or similar detailing) that provides texture and covers parking structure openings (not including entrances and exits); or
  - d. Art or architectural treatment such as sculpture, mosaic, glass block, opaque art glass, relief art work, or similar features.

4. Vehicle entries to garages should be recessed at least six (6) feet from the primary façade plane in order to minimize their prominence (VC, TC).

## **220. Multi-Family - Building Design - Entries.**

- A. Requirement. Provide clearly defined building or courtyard entries that face the street, are well lighted, easily accessible, and satisfy the Washington State Barrier Free Regulations (VC, TC).
- B. Guideline: The entrances should be plainly visible from the fronting street and walkway. The use of distinctive architectural elements and materials to denote prominent entrances will be encouraged. The entries should include a transition space from the sidewalks such as steps, a terrace, or a landscaped area (VC, TC). Dark, hidden corridors or stairways and long entry balconies are discouraged (VC, TC). Avoid the use of exterior stairways when porches and front doors can be used as a primary building entry. If exterior stairways are used, they should fit with the architectural massing and form of the multi-family structure. Thin-looking, open metal, prefabricated stairs are discouraged (VC, TC).



*Clear entries to the sidewalk encourage pedestrian circulation.*

## **225. Building Design - Windows.**

- A. Requirement. Provide relief, detail, and variation on the facade by employing well-proportioned openings (as defined in Guideline #1, below) that are designed to create shade and shadow detail. Use high-quality window products that contribute to the richness and detail of the facade.

- B. Guideline: Provide horizontal and vertical variation in windows. Bay and projecting windows are encouraged.
  - 1. Use vertically proportioned windows that generally have a height one and one-half times their width;
  - 2. Use multiple-paned windows;
  - 3. Build windows either recessed or protruding (such as bay windows);
  - 4. Use significant trim (drip cap, sill, trim); and
  - 5. Provide ground floor windows that have a greater vertical height than upper story windows.

**230. Multi-Family - Building Design - Materials & Colors.**

- A. Requirement: Use exterior building materials that have texture or pattern and lend themselves to a high level of quality and detailing. Use subdued colors, especially on large walls or buildings (VC, TC).
- B. Guideline:
  - 1. The selection and use of exterior materials and colors are key ingredients in determining how a building will look. Some materials, by their nature, can give a sense of permanence or provide texture or human scale that enables new buildings to fit better in their surroundings (VC, TC). Use exterior materials that are durable, easily maintainable and are attractive even when viewed up close.
  - 2. Preferred materials in Kitsap County include:
    - a. Clear/painted horizontal or lap siding;
    - b. Shingles;
    - c. Brick;
    - d. Stone;
    - e. Stucco;
    - f. Stucco-like exterior insulation finish systems, used in small modules; and
    - g. Ceramic or terra cotta tile.
  - 3. Bright or intense colors should be reserved for accent or trim. Colors should be chosen to visually reduce the size of buildings that are larger than others in the neighborhood. Changes in wall colors should differentiate the ground floor from the upper floors.
  - 4. Changes in materials on larger buildings should be coordinated with articulation and modulation within the building's architecture. Changes in the building materials can also be used to differentiate the ground floor from upper floors of the building and should vary from building to building in multi-building projects (VC, TC).

**240. Multi-Family - Signs.**

- A. Requirement. Minimize the amount of signage needed to identify the multi-family development (VC, TC). Signs shall conform to Section 445 of the Kitsap County Zoning Ordinance, Signs.
- B. Guideline:
  - 1. Multi-family projects should have a sign at the main entry from the street to identify the project. The sign should also include the street address (VC, TC).
  - 2. Internal directional signs showing the building locations and building numbers are encouraged. (UV, NV, COSC, NC, UC)
  - 3. Each building will have clearly displayed street numbers, building numbers, and building name, if applicable. Choose materials for the signs that are used in the architectural details of the buildings (VC, TC).

**250. Duplexes & Manufactured Housing - Applicability.**

Sections 250 through 290 of this Section 354 apply to duplexes and manufactured housing within the VC and TC zones.

**260. Duplex - Building Design - Roof Form & Architectural Detail.**

- A. Requirement. Design residences to reinforce the architectural character of the Village or Town Center (VC, TC).
- B. Guideline:
  - 1. Create architectural character in the village or centers through the use of the following:
    - a. Roof design. Pitched or articulated roof line, or other roof elements such as eyebrow roof forms or dormers that emphasize building form and help it to fit in with neighboring structures with prominent roofs (VC, TC).
    - b. Architectural details that are well-proportioned to achieve human scale such as:
      - i. entry details like porches and recesses;
      - ii. occupiable spaces like bay windows and balconies;
      - iii. window details like vertically proportioned window openings which are recessed into the face of the building and broken up with smaller panes of glass;
      - iv. roof details like brackets, chimneys, roof overhangs of at least sixteen (16) inches (measured horizontally);
      - v. windows that create relief in the facade by being detailed to appear to recede into the building face (VC, TC).

**270. Duplexes - Building Design - Entries.**

- A. Requirement. Provide clearly defined building entries or entry courtyards that face the street, are well lighted, and easily accessible (VC, TC).
- B. Guideline:
  - 1. The entries should include a transition space from the sidewalks such as steps, a covered porch, a terrace, or a landscaped area (VC, TC).
  - 2. Entries should include, at a minimum, eave overhangs extending at least 16 inches (measured horizontally) and covered porches (VC, TC).
  - 3. Avoid the use of exterior stairways when porches and front doors can be used as a primary building entry. If exterior stairways are used, they should fit with the architectural massing and form of the multi-family structure. Thin-looking, open metal, prefabricated stairs and railings are discouraged (VC, TC).

**280. Duplexes - Building Design - Garage Design.**

- A. Requirement. Design garages and carports in a way that does not dominate the dwelling's front facade. If an alley exists, the garage or carport shall be located off the alley. Otherwise, garages and carports shall be located behind the residence with or without a partial view from the street, or stepped back from the facade of the building, or located below sidewalk grade (VC, TC).
- B. Guideline:
  - 1. The entrance to a residence should be plainly visible from the fronting street and the walkway and should not be dominated by a garage or carport (VC, TC).
  - 2. Driveways should be as narrow as possible and shared where possible to minimize disruption of the sidewalk and planting strip by curb cuts. The use of wheel tracks or a grass/concrete porous pavement system is encouraged (VC, TC).
  - 3. Garage sidewalls that face the street (e.g., as a result of garages being aligned at an angle or perpendicular with the house) should appear to contain habitable space. This can be accomplished by incorporating windows and other design elements into the garage wall that are in character with the remainder of the dwelling (VC, TC).

**290. Duplexes - Building Design - Materials & Colors.**

- A. Requirement. To use building materials on exteriors that are durable, easy to maintain, are of human scale and that are attractive even when viewed up close. These include materials that have texture, pattern, or lend themselves to a high level of quality and detailing (VC, TC).
- B. Guideline:
  - 1. Preferred materials that could be used in a Village or Town Center include (VC, TC):
    - a. Clear/painted/stained horizontal lap siding;
    - b. Shingles;
    - c. Brick;
    - d. Stone;
    - e. Stucco;
    - f. Stucco-like exterior insulation finish systems, used in small modules;
    - g. Ceramic or terra cotta tile;
  - 2. Preferred roofing materials include: composition or wood shake shingles, standing seam non-glare metal, or tile (VC, TC).
  - 3. In multi-building projects materials and colors should be varied from structure to structure to provide variety and interest to the streetscape. Bright or intense colors should be reserved for accent or trim. Colors should be chosen to visually reduce the size of buildings that are larger than others in the neighborhood (VC, TC).

**300. Accessory Dwelling Units - Site & Building Design - Privacy.**

- A. Requirement. To the extent practical, maintain privacy of adjoining residences, and the primary residence (VC, TC).
- B. Guideline: Use a combination of landscape screening, fencing and window and door placement so that ADU residents cannot look directly into the windows, porches and decks of adjoining residences (VC, TC).

**310. Accessory Dwelling Units - Building Design - Entry Features.**

- A. Requirement. Provide a clearly defined building entry, which is well lighted, easily accessible and integral to the building structure (VC, TC).
- B. Guideline:
  - 1. Entries should be plainly visible from the fronting street sidewalk (VC, TC);
  - 2. If the entry cannot be seen from the fronting street sidewalk, a well-defined walkway (e.g., constructed of contrasting materials or lined

- with a pattern of shrubbery) should be used to "lead" the visitor to the entry of the ADU (VC, TC);
- 3. Where an ADU is added within an existing primary residence, entry may be off an existing foyer (VC, TC);
- 4. Where there is a separate entry, an identifying feature, such as a portico, porch, stoop and/or eave overhang or a similar entry structure shall be constructed that is designed to be integral to the structure (VC, TC)
- 5. Walkways, entry porches, or stairways that are dark or hidden are to be avoided (VC, TC);
- 6. Where an exterior stairway to the main entrance to the ADU is needed or a porch, portico, or eave overhang constructed, it should be constructed of wood, or the most common material used in the construction of the primary residence. Thin looking, open metal, prefabricated stairs are discouraged (VC, TC).

**320. Accessory Dwelling Units - Building Design - Materials & Colors.**

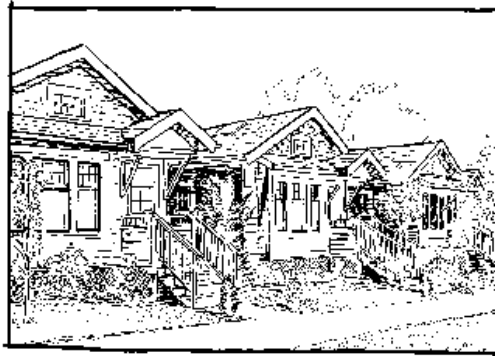
- A. Requirement. Ensure that ADUs conform to the design theme of the Village or Town Center, and contribute to the livability of the neighborhood (VC, TC).
- B. Guideline:
  - 1. Use a roof form and roof pitch, and window and door form and arrangement that looks like the primary residence (VC, TC);
  - 2. Use the same exterior materials (roof, siding, and trim) and a color that matches the primary residence (VC, TC);
  - 3. In general, the roof ridge of the primary residence should be higher than the ADU. An obvious exception is when the ADU is built onto the second story of an existing unit (VC, TC).

**320. Accessory Dwelling Units - Building Design - Materials & Colors.**

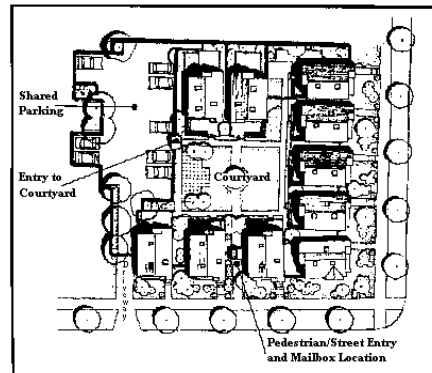
- A. Requirement. Ensure that ADUs conform to the design theme of the Village or Town Center, and contribute to the livability of the neighborhood (VC, TC).
- B. Guideline:
  - 1. Use a roof form and roof pitch, and window and door form and arrangement that looks like the primary residence (VC, TC);
  - 2. Use the same exterior materials (roof, siding, and trim) and a color that matches the primary residence (VC, TC);
  - 3. In general, the roof ridge of the primary residence should be higher than the ADU. An obvious exception is when the ADU is built onto the second story of an existing unit (VC, TC).

**330. Cottage Housing - Site Design.**

- A. Requirement. Design cottage housing to use shared off street parking, orienting the cottages to the street edge and to the shared interior courtyard (VC, TC).
- B. Guideline:
1. Entryways should be oriented to the public street, with secondary entries oriented to the shared courtyard (VC, TC);
  2. Parking should be shared and accessed off an alley or secondary street wherever possible (VC, TC)
  3. The width of the driveway curb cut entry to the parking areas should be minimized to prevent as much pedestrian/sidewalk disruption as possible (VC, TC)
  4. Provide pedestrian connections from the interior courtyard to the shared parking area and to the street and sidewalk (VC, TC).



*Cottage Housing*



**A new Subsection 360.100, "Master Planning Requirements for the South Kitsap UGA/ULID #6 Sub-Area," shall be added to Section 360, "Business Park Zone (BP)" of the Kitsap County Zoning Code, which shall read as follows:**

**100. Master Planning Requirements for the South Kitsap UGA/ULID #6 Sub-Area.** Consistent with Section 428, prior to any new development within an area zoned BP in the South Kitsap UGA/ULID #6 Sub-Area, a master plan shall be prepared for the entirety of the BP zone located within the South Kitsap UGA/ULID #6 Sub-Area prior to any new development; PROVIDED, that the Director may decrease the area within the sub-area that will be included in the Master Plan upon making a written finding that doing so will not adversely effect the provision of a coordinated system of open space, parks, recreational areas, transportation improvements and water and wastewater facilities within the entirety of the zone.

**A new Section 428, "Master Planning Requirements for the South Kitsap UGA/ULID #6 Sub-Area," will be added to the Kitsap County Zoning Code, which shall read as follows:**

**428. Master Planning Requirements for the South Kitsap UGA/ULID #6 Sub-Area**

**010. Applicability.**

The following Master Plan provisions apply to all zoning districts located within the ULID #6 Sub-Area. Prior to new development within each zone within the sub-area, a master plan shall be prepared for the entirety of the relevant zoning district, PROVIDED, that the Director may decrease the area within the sub-area that will be included in the Master Plan upon making a written finding that doing so will not adversely effect the provision of a coordinated system of open space, parks, recreational areas, transportation improvements and water and wastewater facilities within the entirety of the zone. Such master plans shall be subject to the requirements of this section (e.g., a developer proposing the initial development of the UCR zone shall submit a master plan for the entire UCR zoning district lying within the sub-area). Provided, a master plan shall not be required for new development in a portion of the sub-area which has already been master planned as part of a prior development proposal if the new development proposal is substantially consistent with the previously approved master plan. Conceptual master planning may also be required for adjacent zones, but only to the extent necessary to meet the Sub-Area Plan requirements for a comprehensive and coordinated system of open space, parks, recreational areas, transportation improvements and water and wastewater facilities.

## **020. Purpose.**

The general purpose of this section is to provide for development that is consistent with the ULID #6 Sub-Area Plan. Further purposes include:

- A. To encourage the comprehensive development of land within zoning districts as a single unit while allowing multiple phased development.
- B. To provide greater flexibility and, consequently, more creative and imaginative design than generally is possible under conventional zoning regulations. Master planning promotes more economical and efficient use of the land by providing coordination of necessary infrastructure, site amenities, and protection of open space and natural systems.
- C. To promote more economical and efficient use of land, while providing a development that is compatible with the environmental constraints of the land, critical areas, transportation corridors, community needs and market conditions.
- D. To encourage clustering of appropriate densities of residential housing in areas suitable for such development, while simultaneously providing a high level of protection for wetlands, streams and wildlife habitat areas.
- E. To foster a development pattern that results in the design and construction of an interconnected system of pedestrian and bicycle trails and facilities linking residential neighborhoods with open spaces, recreational areas, transportation corridors and retail and employment opportunities.
- F. To foster a development pattern offering direct, convenient pedestrian, bicycle, and vehicular access between residences and businesses, in order to facilitate pedestrian and bicycle travel and reduce the number and length of automobile trips.
- G. To promote a compact growth pattern to efficiently use developable land within the unincorporated UGA, to enable the cost-effective extension of utilities, services and streets, to enable frequent and efficient transit service, and to help sustain neighborhood businesses.
- H. To foster the development of mixed-use areas that are arranged scaled and designed to be compatible with surrounding land.

## **030. Permitted Density.**

Densities shall be consistent with the underlying zone.

## **040. Uses.**

The uses shall be the same as those permitted within the underlying zone (i.e., permitted outright ("P"); permitted subject to site plan review ("SPR"); and

conditionally permitted ("C")). In developments encompassing more than one zone, the uses permitted shall be allowed in the same proportion as the area in each zone.

#### **050. Review and Approval Process.**

- A. A proposed Master Plan shall be processed as a Type III development application under KCC Section 21.04.080. The Master Plan will require a Pre-application meeting, as described at KCC Section 21.04.040. After the applicant has received the Summary Letter from the pre-application meeting, the following process shall apply:
1. An application for Master Plan Scoping, together with a SEPA checklist, shall be submitted by the Applicant to the Department.
  2. A Master Plan Scoping Conference will be held between the Department and the applicant to identify the required components of the Master Plan; to determine the assumptions and standards to be applied in the Plan; and to identify existing information and analyses which may be used in the Master Plan process together with any site-specific issues of concern. The applicant will provide preliminary project information to the extent required to complete the scoping process.
  3. Within 30 days of the Scoping Conference, a written Scoping Summary Notice will be mailed to the Applicant. This notice will include a summary of overall scoping conclusions and a review of elements necessary for an application for a Master Plan and will direct the applicant to proceed with development of the Master Plan. The Scoping Summary Notice will also describe the level of environmental review needed for the Master Plan, which may include a SEPA threshold determination. Upon receipt of the Scoping Summary Notice, the applicant will return a signed copy to the Department.
  4. The applicant shall be responsible for all analysis and planning involved in the preparation of a completed Master Plan and any additional environmental documentation that may be required. Upon completion of the master plan, the applicant shall submit an application for Master Plan approval. Within forty-five days of such application, and in order to ensure that all Master Plan requirements have been addressed, the Department will issue a **Department** notice declaring the Master Plan application to be complete or incomplete, using the procedure described in KCC Section 21.04.050.

5. Upon determination that the Master Plan application is complete and ready for review, the Department will complete a technical review of the Master Plan, complete any required SEPA process, and will act on the application in accordance with the procedures and time lines of KCC Section 21.04.080 for a Type III application. Approval of a Master Plan shall be subject to the appeal procedures set forth for such Type III decisions in KCC Section 21.04.120.
  6. Following Hearing Examiner approval of a Master Plan and resolution of any appeal(s), development activity pursuant to each Master Plan shall be reviewed and approved subject to Kitsap County Site Development, Building, and related permits only. No additional Land Use permitting will be required, provided such development is consistent with the approved Master Plan.
- B. Plat/Binding Site Plan Approval - Merger with Master Plan. A Master Plan application must be processed with an application for a subdivision or binding site plan under KCC Title 16 (Land Divisions). Other applications for project approval may be submitted simultaneously, and processed concurrently, with applications for Master Plan approval.
- C. Engineering, Design Review and Building Permits. No building permit shall be approved unless it complies with the use limitations, standards and design concepts and guidelines contained in the applicable Master Plan. Any conditions of Master Plan, Land Use, Preliminary or Final Plat, or Binding Site Plan approval will constitute a limitation on the use and design of the site, and any permit for improvements or structures may be issued only if consistent with the approved Master Plan and project approval.

**060. Additional Submittal Requirements.**

Master Plans submitted for areas governed by the ULID #6 Sub-Area Plan shall include the following, in addition to the Master Plan submittal requirements found within subsection 050, immediately above:

- A. The legal description of the property and property tax account number (s) of the property subject to the proposed Master Plan.
- B. A complete and detailed written statement of the intended use (s) of the land, and the sequence and timing of the proposed development, and the applicant's intentions with regard to the proposed ownership of land areas, dwelling units and commercial buildings within the development, both during and after construction. The statement shall include the following:

1. The acreage contained within the proposed Master Plan, the minimum and maximum number of lots and/or dwelling units being proposed, and the minimum and maximum number density of lots and/or dwelling units per acre of land.
2. The maximum and minimum lot sizes.
3. The acreage of common open space (including a separate figures for usable active and passive open space) to be contained in the Master Plan and the percentage it each represents of the total area.
4. The proposed maximum total square footage of nonresidential construction.
5. The height, setbacks, building and development coverage.
6. A plan for the phasing of on and off-site public-street and transportation facilities (e.g., sidewalks, bike and pedestrian trails and paths, bus stops, street lights, traffic signals, utilities or improvements of adjacent streets) consistent with KCC Titles 18 and 19, supported by a transportation analysis prepared in accordance with the following criteria:
  - a. The analysis shall include all Kitsap traffic analysis zones, as defined pursuant to KCC 20.04.020(19), in which any portion of the development site is located. The Director of Public Works may waive the requirement for analysis of any area that will not be affected by the road system needed to serve the development site. The Director of Public Works may also require analysis of arterials located outside the affected Kitsap traffic analysis zones if the Director determines that development in the Master Plan area may generate the need for traffic mitigation measures on such arterials. The analysis shall be referred to the Washington State Department of Transportation shall for review and comment if the proposed development transportation analyses for any area that is likely to affect traffic on state highways.
  - b. The analysis shall identify a multi-modal circulation and access plan identifying transportation infrastructure improvements, including changes to existing roads, new roads, transit service and non-motorized transportation facilities which are needed necessary to provide transportation service to all of the proposed development

the area being master planned, assuming full build-out of the relevant zone master plan area and the Kitsap traffic analysis zones in which any portion of the development site is located, based on the levels of development permitted. This analysis shall include a capacity analysis of existing facilities and identify improvements and extensions needed to serve the affected areas at full build-out. The transportation analysis shall include a Transportation Demand Management Plan (TDMP) for the area and identify how the TDMP coordinates with other TDMPs in the vicinity of the development. The TDMPs shall generally be selected from the following listing is intended to provide a broad list of potential TDM strategies, as appropriate to the potential uses and the anticipated demand for such services in the master plan area for incorporation into the TDMPs:

- i. Provision of preferential parking for carpools and vanpools; bicycle parking facilities, changing areas/showers for employees who walk or bike to work;
  - ii. Provision of commuter ride-matching services to facilitate employee ridesharing;
  - iii. Provision of subsidies for transit fares, carpooling and/or vanpooling;
  - iv. Alternate Work Schedules/Flex time;
  - v. On-site amenities such as cafeterias and restaurants, ATM's and other services that would eliminate the need for additional trips;
  - vi. Provision of a program of parking incentives such as a rebate for employees who do not use the parking facilities;
  - vii. Implementation of other measures designed to facilitate the use of high-occupancy vehicles such as on-site day care and emergency ride home service; and
  - viii. Employers or owners of worksites may form or utilize existing transportation management associations to assist members in developing and implementing Transportation Demand Management Plans.
- c. The transportation analysis shall identify any feasible alternatives for providing transportation service in the affected areas:
- i. The transportation analysis shall identify potential methods for funding the design and construction of

the system improvements needed to serve the affected areas at full build-out.

- ii. The transportation analysis may provide for phased implementation of the identified improvements, provided that no development subject to Master Planning requirements shall be approved until funding is approved in the TIP or a commitment is in place to provide developer improvements identified by the transportation analysis within the time deadlines set forth in KCC 20.04.020(8). All improvements shall meet the adopted concurrency standards of Kitsap County, as set forth in KCC Chapter 20.04.
  - iii. The transportation analysis shall include appropriate trip generation analyses, trip distribution analyses, and level of service analyses. The Director of Public Works shall require the applicant to use standard trip generation rates published by the Institute of Transportation Engineers or other documented information and surveys approved by the department. The Director of Public Works may approve a reduction in generated vehicle trips based on additional information supplied by the applicant, including information related to commute trip reduction programs pursuant to KCC Chapter 20.08. The calculation of vehicle trip reductions shall be based upon recognized technical information and analytical process that represent current engineering practice. The Director of Public Works shall have final approval of such data, information and technical procedures as are used to develop trip generation analyses, trip distribution analyses, and level of service analyses.
7. A plan for the phasing of street improvements, including road construction, acreage of road area and percentage it represents of the total land area.
  8. A plan for the provision of public water service consistent with KCC Titles 16 and 17, including a statement regarding the availability and planned phasing of water system extensions.
  9. A plan for the provision of sanitary sewer service consistent with KCC Titles 13 and 14, including a statement regarding the method

of sewage disposal and the planned phasing of sewer system extensions.

10. As applicable, the proposed design for the multi-family, business park and village center aspects of the project, consistent with adopted Kitsap County design criteria.
11. The proposed method of stormwater control, including both water quantity and quality, consistent with KCC Titles 12, 13 and 19, supported by a stormwater analysis prepared in accordance with the following criteria:
  - a. The stormwater analysis shall be based on an approved hydrologic model, as determined by the most recent version of the Kitsap County Stormwater Manual.
  - b. The stormwater analysis shall provide a comprehensive analysis of existing and proposed surface water quantity and quality conditions for all zoning districts in which any portion of the development site is located. The Director may waive the requirement for analysis in any zoning district in which the proposed development will not create the need for stormwater facilities.
  - c. The stormwater analysis shall assume full build-out of the subject zoning district at levels of development permitted by applicable County regulations in effect at the time of Master Plan preparation.
  - d. At a minimum, s Specific technical elements of the stormwater analysis shall conform with the requirements of the Kitsap County Stormwater Design Manual, as amended. ~~include the following:~~
    - ~~i. A conceptual or preliminary plan of the proposed drainage collection and flow control systems, based upon accurate topographic mapping and geologic data;~~
    - ~~ii. All assumptions, parameters, and input data used in the hydrologic model;~~
    - ~~iii. Hydrologic performance data (stage, storage, discharge) for all elements of the hydrologic system, whether existing or proposed;~~
    - ~~iv. Flow data for all existing and proposed conveyance facilities, including swales, streams, pipes, and ditches which will support the proposed system;~~

- v. Floodplain analysis identifying flows, velocities, and extent of flooding for the existing and proposed conditions, including backwater or tailwater analysis as appropriate;
- vi. Erosion analysis of on-site and downstream open drainage systems, identifying flows, velocities, areas of existing and future deposition and channel erosion, and characterization of sediment;
- vii. Geotechnical analysis of the site and proposed improvements which addresses soils and slope stability for proposed lakes/ponds, road alignments, channel/ravine conditions, building setbacks from steep slopes, vegetation preservation and controls, existing and proposed drainage facilities, and downstream system stability;
- viii. Method and conceptual design for maintaining existing flow regimes in any swales/ravines that may be altered by the development;
- ix. Method, conceptual design, and location of water quality compensating facilities that may be necessary to replace naturally occurring biofiltration functions of site vegetation;
- x. Description of maintenance design features and provisions that will ensure reliable and long term facility operation;
- xi. A construction phasing plan that will ensure stormwater/erosion control during development of individual sub-basins; and
- xii. Mapping must be of adequate scale and detail for accurate definition and location of all system elements, both on-site and off-site, and must provide support for hydrologic model characterization.

C. A scale drawing of the property indicating:

- 1. North point and graphic scale.
- 2. Boundaries, easements, and ownerships as set forth in the legal description.
- 3. Topography at appropriate contour intervals.
- 4. Existing structures and improvements.
- 5. Existing vegetation, significant trees and vegetated buffers as required by the landscape regulations set forth in KCC Section

17.385 (Landscaping Requirements), and Section 17.428.070(B)(7).

6. Watercourses, and other natural features.
  7. Lot or land divisions.
  8. All proposed improvements, including general building footprints.
  9. Sewage disposal system.
  10. Storm drainage design.
  11. Utilities plans.
  12. Existing and proposed circulation system on and off the site, including auto, truck, emergency and transit access and pedestrian and bicycle circulation plans.
  13. Landscaping plans, including street trees.
  14. Proposed land uses and densities on the subject property.
  15. Location and types of dwelling units proposed.
  16. All adjacent streets and rights-of-way.
  17. Other plans and drawings deemed necessary for evaluation.
- D. A vicinity map showing the location of the site and its relationship to surrounding areas, including existing streets, driveways, and other land features.
- E. Phasing schedule; if the Master Plan is to be developed in phases, the project as a whole shall be portrayed on the Master Plan.
- F. A completed environmental checklist as required by the State Environmental Policy Act, as codified within KCC Title Chapter 18.04, and any other permit application requirements specified by KCC Title 19 (Kitsap County Critical Areas Code).
- G. The proposed method of insuring permanent retention and maintenance of circulation system, storm drainage system, sewage disposal system, parks, open space, or other common private or public facilities.

- H. The Director or designee may waive specific submittal requirements determined to be unnecessary for review of an application.

**070. Development standards.**

The development standards of the underlying zone shall apply except as provided in the following standards:

A. Modification of Development Standards.

- 1. The following development standards contained within KCC Title 17 (Kitsap County Zoning Code) may be modified in approving a Master Plan:
  - a. Building setbacks.
  - b. Height of buildings or structures.
  - c. The number of off-street parking spaces.
  - d. Minimum lot sizes.
  - e. Landscaping requirements.
  - f. Lot widths.
- 2. Standards that may not be modified or altered through the Master Plan process are:
  - a. Standards pertaining to stormwater management under KCC Titles 12, 13 and 19, except as otherwise permitted by the Kitsap County Stormwater Design Manual.
  - b. Standards pertaining to the provision of sanitary sewer service under KCC Titles 13 and 14.
  - c. Standards pertaining to the provision of public water service under KCC Titles 16 and 17.
  - d. Standards pertaining to development in critical areas regulated under KCC Title 19, except as otherwise permitted by the Kitsap County Critical Areas Ordinance.

B. A Master Plan shall provide for the following:

- 1. A plan for clustering of development consistent with use requirements and densities for the entire zoning district area subject to master planning.

2. A circulation system that supports the entire zoning district area submit to master planning. A road, street, sidewalk, transit, bicycle and pedestrian design plan consistent with the approved ULID #6 Sub-Area Plan shall be proposed for the development and incorporated as a Master Plan standard and a condition of Master Plan approval. The system shall include a coordinated plan for the provision of comprehensive and integrated transportation system improvements including roads, streets, sidewalks, pedestrian and bicycle trails and facilities, and transit facilities, showing connections, as appropriate, to adjacent zones and areas within the sub-area and, as appropriate, outside the sub-area. The circulation system may be constructed in phases. Specific requirements also include the following:
  - a. Public transportation facilities, including road, transit and non-motorized vehicle systems, shall be designed and constructed in accordance with and shall meet the Level of Service standards set forth in the Kitsap County Comprehensive Plan, and all applicable standards for the design and construction of roads and streets for the agency or agencies with jurisdiction over the particular transportation improvement in effect at the time the Master Plan is prepared.
  - b. Any development subject to a Master Plan shall make provision for such reserved tracts, easements and/or rights-of-way as may be necessary to facilitate extension of transportation facilities identified in the Master Plan to adjoining properties in the vicinity of the development.
3. A coordinated plan for the provision of comprehensive and integrated urban water and sanitary sewer improvements. The water system or systems shall provide adequate potable water and adequate pressure to meet minimum fire flow standards as required under the applicable fire regulations and standards. The sanitary sewer and water system may be constructed in phases. Specific requirements also include the following:
  - a. Sanitary Sewer Facilities.
    - i. Facilities shall be designed in accordance with and shall meet the standards of KCC Chapter 13.12, as applicable, and the standards for the design and construction of sanitary sewer systems adopted by the appropriate sewer system purveyor and the

- Washington State Departments of Health and Ecology in effect at the time the Master Plan is prepared.
- ii. Any development subject to a Master Plan shall make provision for such reserved tracts, easements and/or rights-of-way as may be necessary to facilitate extension of sanitary sewer facilities identified in the Master Plan to adjoining properties in the vicinity of the development.
- b. Public Water System Facilities.
    - i. Facilities, including transmission and storage systems, shall be designed and constructed in accordance with and shall meet the standards of KCC Chapter 13.28, as applicable, and the standards for the design and construction of public water systems adopted by the water system purveyor and the Washington State Departments of Health and Ecology in effect at the time the Master Plan is prepared.
    - ii. Any development subject to a Master Plan shall make provision for such reserved tracts, easements and/or rights-of-way as may be necessary to facilitate extension of public water facilities identified in the Master Plan to adjoining properties in the vicinity of the development.
4. Storm drainage management shall be planned for the entire zoning district area subject to master planning. The system shall meet the County standards for storm water management. The storm drainage plan may be constructed in phases. Specific requirements also include the following:
    - a. Stormwater control facilities, including both flow control and water quality systems, shall be designed in accordance with and shall meet the standards of KCC Titles 19 (Kitsap County Critical Areas Code) and 12 (Kitsap County Stormwater Management Code).
    - b. Any development subject to a Master Plan shall make provision for such reserved tracts, easements and/or rights-of-way as may be necessary to facilitate extension of stormwater control facilities identified in the Master Plan to adjoining properties in the vicinity of the development.
  5. Critical areas shall be protected for the entire zoning district area subject to master planning. Protection measures which meet the standards of KCC Title 19 (Kitsap County Critical Areas Code) shall

be included in a sensitive areas and open space plan for the Master Plan.

6. Open space, parks and recreational areas shall be planned for the entire zoning district area subject to master planning. The system shall include a coordinated plan for the provision of a comprehensive, interconnected and integrated network of parks, open space and recreational areas, showing connections, as appropriate, to adjacent zones and areas within the sub-area and, as appropriate, outside the sub-area. Such areas may be constructed in phases. Specific requirements also include the following:
  - a. Common open space.
    - i. The common open space shall be at least fifteen (15) percent of the total zone district subject to the Master Plan, and be designed as an integrated part of the project rather than an isolated element;
    - ii. Common open space containing environmentally sensitive areas designated and regulated under KCC Title 19 shall be left unimproved;
    - iii. When possible, open space shall be located so as to connect wetlands, drainage corridors, and valuable habitats to other areas with development constraints, allowing such open space areas to function as urban wildlife corridors;
    - iv. Common open space shall be permanently maintained by and conveyed to one of the following:
      - 1) a homeowner's or lot owner's association, as applicable, that agrees to maintain the common open space and any buildings, structures, or other improvements which have been placed on it; or 2) a private non-profit conservation trust or similar entity approved by the County with a demonstrated capability to carry out the necessary duties; or 3) a public agency that agrees to maintain the common open space and any buildings, structures or other improvements that have been placed on it;
    - v. No common open space may be altered or put to a change in use in a way which is inconsistent with the Master Plan unless the Master Plan is first amended; no change of use or alteration of the common open space shall be considered as a waiver of any covenants limiting the use of the common open space, and all rights to enhance these, Kitsap County

shall have the right to enforce such covenants against any use permitted are expressly reserved;

- vi. Pedestrian and bicycle trails and facilities shall be designed to be accessible to people with disabilities as much as the natural characteristics (e.g., topography) of the area will allow, while minimizing the creation of impervious surfaces (e.g., through the use of wooden boardwalks, etc.);
  - vii. When possible to do so without degrading the environmental functions and values of the area, pedestrian and bicycle trails and facilities shall be located in areas that are important to preserve as open space corridors (e.g., wooded areas, and buffer edges of wetlands and other environmentally sensitive areas); and
  - viii. When possible, vegetative buffers between residential areas and major arterials, and between single-family and multi-family and nonresidential uses shall be preserved.
- b. Active Recreational Open Space. For Master Plans containing residential development, at least five (5) percent of the common open space shall be developed as active recreational open space, subject to the following conditions:
- i. The active recreational open space shall be developed and available for use by residents of the development prior to occupancy of fifty (50) percent of the housing units in the development or phase of development of which the open space is a part; and
  - ii. The active recreational open space shall be owned and maintained by one of the entities described in subsection (B)(1)(d) of this Section and available for use by all residents of the development.
7. Landscaping and screening shall be planned for the entire proposed development. The landscaping shall meet the requirements of KCC Section 17.385 (Landscaping Standards). Landscaping may be constructed in phases. Additionally, vegetated buffers shall be provided between residential areas and major arterials, and between residential areas and the Village Center and Business Park zones in order as necessary to effectively screen incompatible uses.
8. A plan for mixing commercial and residential uses consistent with requirements and densities proposed for the applicable zoning district.

9. As applicable, a plan for the provision of any other necessary public and private facilities, including schools and neighboring shopping and employment areas serving the sub-area.
  10. A parking plan consistent with KCC Section 17.435.
  11. Any additional relevant information required by the Director.
- C. Phasing. Each phase shall support the development proposed in that phase by providing the following:
1. Adequate pedestrian, bicycle, vehicular and transit circulation.
  2. Sanitary sewer system.
  3. Urban water with adequate fire flow.
  4. Storm management system.
  5. Protection of existing environmental sensitive areas.
  6. Adequate open space, parks, recreational areas, landscaping and screening.
- D. The maintenance and preservation of commonly owned areas shall be guaranteed for the life of the structures and uses in the Master Plan through the execution of appropriate assurance devices acceptable to the County.

**080. Design Criteria.**

The design standards for site plan review set forth in KCC Section 410.040(B), and all applicable design guidelines for multi-family, business park and urban center development shall apply. The Master Plan shall include a plan for complying with these design requirements and guidelines.

**090. Decision Criteria.**

An application for a Master Plan permit may be approved or approved with modifications if all of the following requirements, as further set forth in the development standards at subsection 428.070, above, are met:

- A. The Master Plan demonstrates superior site design by incorporating the following:
  1. Provisions for public facilities and/or amenities.

2. Clustering of development, as applicable.
  3. Innovative site design that complies with the development and design standards of the Master Plan and underlying zoning code.
  4. Preservation of critical areas, resource areas and natural features.
  5. Provision for a coordinated, comprehensive, interconnected and integrated system of parks, open spaces and recreational areas.
  6. Placement of structures, circulation systems and utilities that minimizes impervious surface and the alteration of the land and also responds to physical characteristics of the property.
  7. Site design that reduces dependency on automobiles by providing for pedestrian, bicycle and transit uses.
- B. The Master Plan complies with each of the applicable design criteria contained in Sections 351 and 354, as applicable, which address site orientation, building size, scale and mass, landscaping, fences, signage, lighting, and any other adopted design criteria for Urban Center, Multi-family and Business Park development.
- C. If occurring within the Urban Village Center (UVC) zoning district, the Master Plan provides appropriate mixing of commercial and residential uses consistent with requirements and densities proposed for the zone.
- D. Adequate public services are available, including water, sewer, roads, including access roads, fire and storm drainage. Approval of the Master Plan should not reduce existing public service levels for surrounding properties below acceptable levels without mitigation measures.
- E. The Master Plan is consistent with the goals and policies of the comprehensive plan and the ULID #6 Sub-Area Plan.
- F. The Master Plan complies with all other applicable codes and policies of the County.
- G. If development under a Master Plan will be phased, each phase of a proposed development must contain adequate infrastructure, open space, recreational facilities, landscaping and all other conditions of the Master Plan to stand alone if no other subsequent phases are developed.
- H. The Master Plan sets forth the terms, conditions, covenants, and agreements regarding the intended development and terms, conditions, covenants, and agreements under which the property is bound.

- I. If no reasonable conditions or modifications can be imposed to ensure the application meets the criteria set forth above, then the application shall be denied.

**100. Amendments.**

An approved Master Plan, or subsequent revision thereto, shall be binding as to the general intent and apportionment of land for buildings, sewage disposal, storm management, sensitive area protection, stipulated use, circulation pattern, urban water and landscaping. Amendments that propose to change the character, basic design, building density and intensity, open space or any other requirements and conditions of approval contained in the Master Plan shall not be permitted without prior review and recommendation by the Hearing Examiner, and if appealed, approval by the Kitsap County Board of Commissioners. If approved, amendments shall be clearly depicted as a revision to approved plans.

**110. Duration of Approval.**

The requirements of KCC 21.04.110 “Timelines and Duration of Approval” shall not apply to areas subject to a Master Plan approved under this Section. Instead, the following will apply:

- A. Master Plans approved under this Section shall be valid for a period of ten (10) years after approval, during which time complete applications for site development and building permits for at least one phase of the project shall be accepted by the Department. If the project is to be completed in phases, the first Site Development Activity Permit application shall include a phasing plan with a timetable to complete the project within the ten-year duration of the Master Plan. If the phasing plan is approved, then the timelines in the plan become new deadlines for the submission of subsequent complete applications for Site Development and Building Permits for later phases.
- B. Approved Master Plan holders may receive one (1) five-year extension from the Hearing Examiner in accordance with the criteria below.
  1. An extension request must be filed in writing with the Director at least sixty (60) days prior to the expiration of the approval period.
  2. The applicant must demonstrate to the Hearing Examiner tangible progress toward completion of the approved master planned development.
  3. The applicant must demonstrate to the Hearing Examiner that there are no significant changes in conditions that would render

approval of the extension contrary to the public health, safety or general welfare.

- C. The Hearing Examiner may take either of the following actions upon receipt of a timely extension request:
  - 1. Approve the extension if no significant issues are presented under the criteria set forth in this section.
  - 2. Conditionally approve the extension if any significant issues presented are substantially mitigated by minor revisions to the original master plan.
  - 3. Deny the extension if any significant issues presented cannot be substantially mitigated by minor revisions to the approved master plan.
- D. A request for extension shall be processed as a Type III action.

#### **120. Amendment of Master Plans**

Master Plans may be amended or changed by the Hearing Examiner in accordance with the criteria below.

- A. The applicant must have approval of all parties to the existing Master Plan.
- B. The amended Master Plan must conform to all requirements of the chapter.
- C. The applicant must demonstrate to the Hearing Examiner that there are no significant changes in conditions which that would render approval of the amendment contrary to the public health, safety or general welfare.
- D. An amendment request must include a revised phasing plan.
- E. The amendment itself will not extend the duration of the original Master Plan.
- F. The Hearing Examiner may take any of the following actions upon receipt of an amendment:
  - 1. 1. Approve the amendment if no significant issues are presented under the criteria set forth in this section;

2. 2. Conditionally approve the amendment if any significant issues presented are substantially mitigated by minor revisions to the original master plan: or
  3. Deny the amendment if any significant issues presented cannot be substantially mitigated by minor revisions to the approved master plan.
- G. A request for amendment shall be processed as a Type III action.