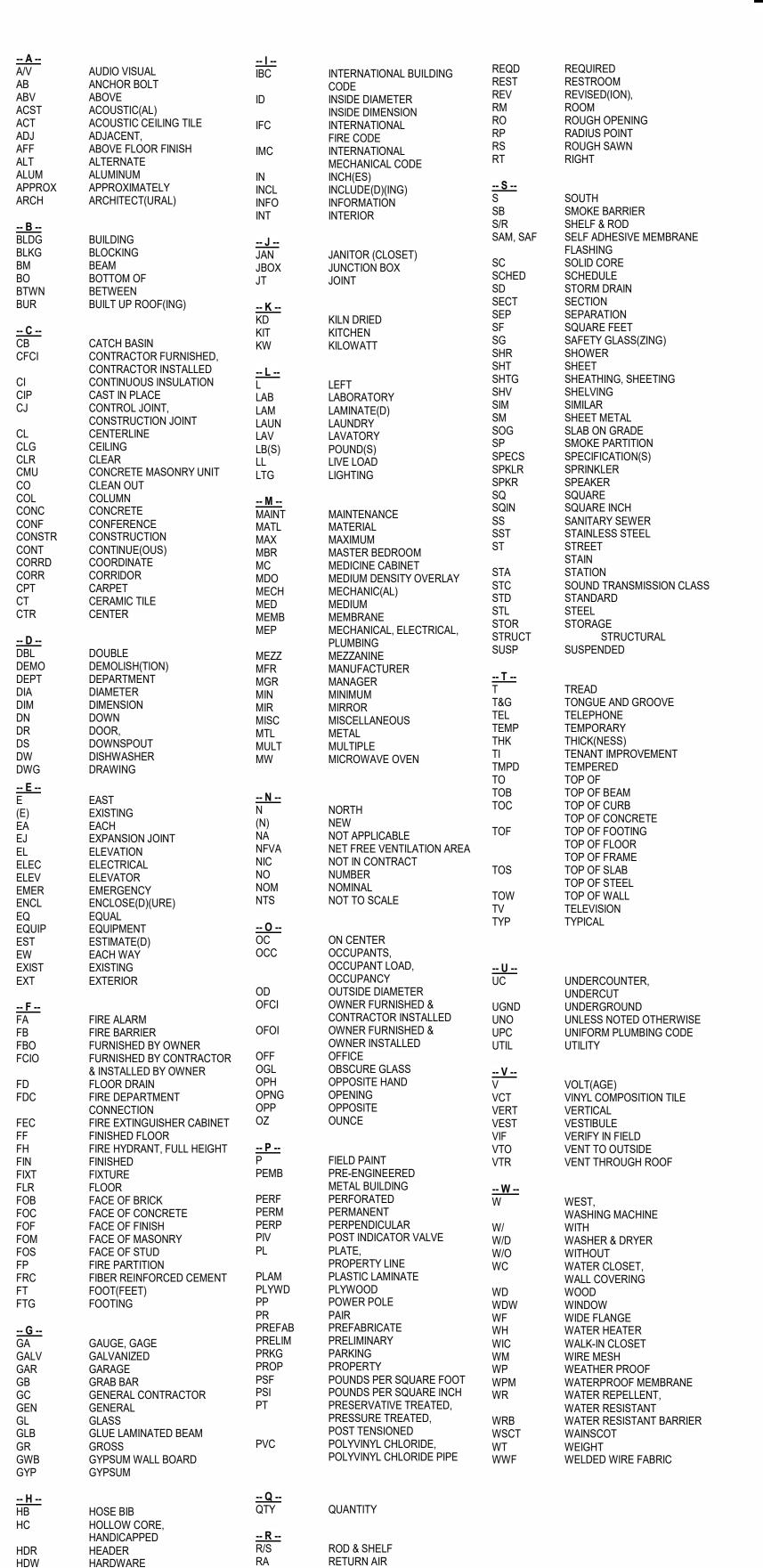
CHECKED TITLE / NOTES / ABBV

DEPT. OF EMERGENCY MANAGEMENT - TENANT IMPROVEMENT





GROSS CONDITIONED FLOOR AREA: 9,692 SF

BUILDINGS THAT WERE ORIGINALLY PERMITED PRIOR TO THE 2009 WSEC, MAY COMPLY WITH THIS SECTION AS FOLLOWS: WHERE COMPONENT PERFORMANCE ALTERNATIVE IN SECTION C402.1.5 IS USED TO DEMONSTRATE COMPLIANCE WITH THIS SECTION, THE PROPOSED TOTAL UA IS ALLOWED TO BE UP TO 110% OF THE ALLOWABLE TOTAL UA. (C5.5.1 EXC. 1)

ALL ENERGY CODE COMPLIANCE FORMS AND CALCULATIONS SHALL BE DELIVERED IN ONE DOCUMENT TO THE BUILDING OWNER AS PART OF THE PROJECT RECORD DOCUMENTS OR MANUALS, OR AS A STANDALONE DOCUMENT. THIS DOCUMENT SHALL INCLUDE THE SPECIFIC ENERGY CODE YEAR UTILIZED FOR COMPLIANCE DETERMINATION FOR EACH SYSTEM, NFRC CERTIFICATES FOR THE INSTALLED WINDOWS, LIST OF TOTAL AREA FOR EACH NFRC CERTIFICATE, THE INTERIOR LIGHTING POWER COMPLIANCE PATH (BUILDING AREA, SPACE-BY-SPACE) USED TO CALCULATE THE LIGHTING POWER

THE DOCUMENTATION SHALL INCLUDE: 1. THE ENVELOPE INSULATION COMPLIANCE PATH (PRESCRIPTIVE OR COMPONENT PERFORMANCE). 2. ALL COMPLETED CODE COMPLIANCE FORMS, AND ALL COMPLIANCE CALCULATIONS INCLUDING, BUT NOT

LIMITED TO, THOSE REQUIRED BY SECTIONS C402.1.5, C403.2.12.1, C405.4, AND C405.5.

SYSTEMS OPERATION TRAINING (C103.6.4) TRAINING OF THE MAINTENANCE STAFF FOR EQUIPMENT INCLUDED IN THE MANUALS REQUIRED BY SECTION C103.6.2 SHALL INCLUDE AT A MINIMUM: 1. REVIEW OF MANUALS AND PERMANENT CERTIFICATE.

2. HANDS-ON DEMONSTRATION OF ALL NORMAL MAINTENANCE PROCEDURES, NORMAL OPERATING MODES, AND ALL EMERGENCY SHUTDOWN AND START-UP PROCEDURES. 3. TRAINING COMPLETION REPORT.

CLIMATE ZONE (TABLE C301.1)

BUILDING THERMAL ENVELOPE INSULATION SHALL BE IDENTIFIED AND/OR MARKED AS REQUIRED IN WSEC

ENVELOPE (C402) - USE COMPONENT PERFORMANCE (C402.1.5) SEE WSEC COMPLIANCE FORMS

WHERE TWO OR MORE LAYERS OF RIGID INSULATION WILL BE USED, INDICATE THAT EDGE JOINTS BETWEEN LAYERS ARE STAGGERED, OR EXCEPTION TAKEN

MINIMUM SKYLIGHT FENESTRATION AREA

A CONTINUOUS AIR BARRIER SHALL BE PROVIDED THROUGHOUT THE BUILDING THERMAL ENVELOPE

BUILDING SHALL BE TESTED FOR AIR LEAKAGE AS REQUIRED BY (C402.5.1.2) BUILDING ENCLOSURE AIR LEAKAGE TESTING SHALL BE PERFORMED PER ASTM C779 (OR EQUIVALENT

METHOD APPROVED BY THE CODE OFFICIAL) AND THE TARGET LEAKAGE RATE IS 0.25 CFM/FT2 (1.5 L/S*M2) (1) SUBMIT BUILDING ENCLOSURE AIR LEAKAGE TEST REPORTS TO JURISDICTION AND OWNER; (2) IF INITIAL TEST RESULT EXCEEDS 0.25 CFM/FT2 (1.5 L/S*M2), INDICATE THAT INSPECTION AND ALL PRACTICAL

CORRECTIVE ACTIONS BE COMPLETED AND DOCUMENTED IN THE AIR LEAKAGE TEST REPORT; (3) IF INITIAL TEST RESULT EXCEEDS 0.40 CFM/FT2 (2.0 L/S*M2), INDICATE THAT CORRECTIVE ACTIONS SHALL ALSO INCLUDE RE-TESTING; (4) INDICATE THAT CORRECTIVE MEASURES AND RETESTING MUST BE REPEATED UNTIL THE TEST RESULT IS 0.40 CFM/FT2 (2.0 L/S*M2) OR LESS; (4) INCLUDE AIR BARRIER TEST REPORT IN PROJECT CLOSE OUT DOCUMENTATION PROVIDED TO BUILDING OWNER.

<u>VESTIBULES</u> (C402.5.7.8) NOT REQUIRED. BUILDING LESS THAN 10,000 SF

MECHANICAL (C403) SEE MECHANICAL DRAWINGS

LIGHTING (C405) SEE ELECTRICAL DRAWINGS

FENESTRATION NFRC RATING CERTIFICATES

EFFICIENCY PACKAGE CREDITS 6 REQUIRED FOR BUILDING (C406.1)

2. REDUCED LIGHTING POWER OPTION 1 (2 POINTS) 4. ENHANCED LIGHTING CONTROLS IN ACCORDANCE WITH SECTION 406.4 (1 POINT) 10. ENHANCED ENVELOPE PERFORMANCE IN ACCORDANCE WITH C406.10 (3 POINT)

FOR A ROOF COVERING REPLACEMENT WHERE INSULATION IS INSTALLED ENTIRELY ABOVE THE ROOF DECK, INSULATION TO COMPLY WITH REQUIREMENTS FOR NEW CONSTRUCTION PER TABLES C402.1.3 OR

CONTRACTOR TO PROVIDE ALL COMPLIANCE DOCUMENTATION TO THE OWNER AS REQUIRED PER WSEC C103.6.3 INCLUDING APPLICABLE CALCULATIONS, WSEC ENVELOPE COMPLIANCE REPORTS, AND

CONTRACTOR TO PROVIDE SYSTEMS OPERATION TRAINING AS REQUIRED PER WSEC C103.6.4

1. PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES NOTED AMONG OR BETWEEN THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, SITE CONDITIONS, MANUFACTURER RECOMMENDATIONS, OR CODES, REGULATIONS, OR RULES OF JURISDICTIONS HAVING AUTHORITY.

2. PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, AND SITE CONDITIONS, INCLUDING TAKING FIELD MEASUREMENTS AS NECESSARY. 3. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL GOVERNMENTAL PERMITS, FEES, LICENSES, AND

GENERAL BUILDING / MECHANICAL / PLUMBING PERMIT. 4. ALL INTERIOR DIMENSIONS ARE TO THE CENTER OF FRAMIMG UNLESS NOTED OTHERWISE. DIMENSIONING IS TO THE EXTERIOR FACE OF CONCRETE OR EXTERIOR FACE OF STUDS AT EXTERIOR WALLS. CONTACT

INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK, EXCEPT FOR THE

5. REPETITION: TYPICAL WALL SECTIONS, FINISHES AND DETAILS ARE NOT INDICATED. EVERYWHERE THEY OCCUR ON PLANS, ELEVATIONS, AND SECTIONS. REFER TO DETAILED DRAWINGS. CONTRACTOR TO PROVIDE

GENERAL NOTES

AS IF DRAWN IN FULL.

MAIN BUILDING (AREA OF WORK THIS PROJECT): 8900 SW IMPERIAL WAY

OTHER EXISTING BUILDINGS ON SITE: 8902 SW IMPERIAL WAY (WAREHOUSE) 8904 SW IMPERIAL WAY (VEHICULAR STORAGE)

PARCEL NUMBER: 5215-000-016-0002

CRITICAL AREA: CRITICAL AQUIFER RECHARGE AREA

NEW / REPLACED IMPERVIOUS AREA SUMMARY: 2,157 SF - TOTAL REMOVED IMPERVIOUS PAVING (NOT INCL. UTILITY WORK) 539 SF - TOTAL REMOVED IMPERVIOUS PAVING REPLACED WITH PLANTED AREA 1,618 SF - TOTAL NEW AND REPLACED IMPERVIOUS

SINCE LESS THAN 2,000 SF, STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON REQUIRES MINIMUM REQUIREMENT #2.

TENANT IMPROVEMENT AND SEISMIC UPGRADE OF EXISTING METAL BUILDING WITH A SMALL ENTRANCE AREA ADDITION AND CANOPY. THE BUILDING WILL BE REROOFED AND GET NEW METAL SIDING. MINOR SITE WORK INCLUDING LANDSCAPING AND PEDESTRIAN PAVING NEAR THE NEW ENTRANCE AND UTILITY RELATED

LOT SIZE: 130,000 SF (2.98 ACRES)

SITE 25 ASSESSED PP 0095752 LAND ACCT 112301-3-001-1000

PUGET SOUND INDUSTRIAL CENTER BREMERTON (PSIC-B)

CRITICAL AREA DESIGNATION: CATEGORY II CRITICAL AQUIFER RECHARGE AREA

LANDSCAPING: VIRTUALLY THE ENTIRE SITE OTHER THAN THE BUILDINGS EXISTS AS ASPHALT PAVING. APPROX. 660 SF OF ASPHALT WILL BE REPLACED WITH PLANTERS AROUND THE BUILDING ENTRY. PLANTINGS TO BE NATIVE, DROUGHT TOLERANT PLANTS. ALTERED SITE AREAS TO HAVE LANDSCAPING IN ACCORDANCE WITH BMC

PARKING CALCULATION: REQUIRED SPACES (BMC 20.48.080)

CHAPTER 20.50 AND PSIC 4.050.

BUILDING 8900 WAREHOUSE: 844 SF OFFICE: 8,848 SF

BUILDING 8902 WAREHOUSE: 4,745 SF

WAREHOUSE: 4,853 SF TOTAL SITE WAREHOUSE SPACE: 10,442 SF, (1/2000 SF GFA) = 6 SPACES

TOTAL SITE OFFICE SPACE: 8,848 SF, (1/300 SF GFA) = 30 SPACES

TOTAL SITE PARKING REQUIREMENT: 36 SPACES, PROVIDED: 37 STRIPED SPACES

A2.01 BLDG ELEV. DEMO / WALL INFILL ROOFTOP POWER PLAN **BUILDING ELEVATIONS** SYSTEMS PLAN BUILDING SECTIONS LEVEL 1 SYSTEMS PATHWAYS PLAN A3.02 **BUILDING / WALL SECTIONS ENLARGED SYSTEMS PLANS** A3.03 WALL SECTIONS ELECTRICAL ONE-LINE DIAGRAM ENLARGED PLANS PANEL SCHEDLES E5.02 ENLARGED PLANS / INT ELEVATIONS E5.03 PANEL SCHEDULES A4.03 INTERIOR ELEVATIONS **ELECTRICAL DETAILS** INTERIOR ELEVATIONS **ELECTRICAL DETAILS** SITE DETAILS ELECTRICAL DETAILS A5.01 SITE DETAILS SECURITY DETAILS **EXTERIOR DETAILS EXTERIOR DETAILS** FIRE ALARM EXTERIOR DETAILS FIRE ALARM SYSTEM LEGEND AND EXTERIOR DETAILS / PLAN DETAILS FIRE ALARM SYSTEM RISER & INTERIOR DETAILS SEQUENCE OF OPERATIONS MATRIX INTERIOR DETAILS FA1.01 FIRE ALARM SYSTEM FIRST FLOOR PLAN DOOR / WINDOW SCHEDULES ASSEMBLY SCHEDULES FIRE PROTECTION FIRE PROTECTION NOTES AND FLOOR **STRUCTURAL** STRUCTURAL NOTES FOUNDATION PLAN FOOTING DETAILS STRUCTURAL FLOOR PLAN STRUCTURAL DETAILS ROOF FRAMING PLAN STRUCTURAL DETAILS MECHANICAL, ELECTRICAL ENGINEER
BCE ENGINEERS

KITSAP COUNTY DEPT. OF EMERGENCY MANAGEMENT ATTN: JAN GLARUM, ACTING DIRECTOR 360-307-5871 JGLARUM@KITSAP.GOV

DRAWING INDEX

TITLE / NOTES / ABBV

CODE / LIFE SAFETY

PARKING PLAN

DETAILS

DETAILS

WATER AND SEWER

LANDACAPE PLAN

FLOOR PLAN

SHEET NAME

EXISTING CONDITIONS / DEMO PLAN

STORM CLEANOUT CONDITIONS

FLOOR PLAN - EXISTING / DEMO

FLOOR PLAN - DIMENSIONS / WALL

FLOOR FINISH / RM SIGNAGE PLAN

ARCHITECTURAL SLAB PLAN

REFLECTED CEILING PLAN

RCP - EXISTING / DEMO

SHEET#

A0.01

C2

C4

C5

C6

L1

ARCHITECTURAL

A1.01

A1.03

A1.06

A1.07

A1.08

LANDSCAPE

ATTN: JIM BAURICHTER 1230 BAY STREET, PORT ORCHARD, WA 98366 206-406-0522 JIM@BAUARC.COM

STRUCTURAL / CIVIL ENGINEER N.L. OLSON AND ASSOCIATES

ATTN: MATT ZAWLOCKI P.O. BOX 637 PORT ORCHARD, WA 98366 360-876-2284 MZAWLOCKI@NLOLSON.COM

DRAWING INDEX

MECHANICAL LEGEND

HVAC DUCTWORK PLAN

MECHANIAL SECTIONS

MECHANICAL DETAILS

MECHANICAL DETAILS II

MECHANICAL SCHEDULES

MEHANICAL SCHEDULES II

MECHANICAL CONTROLS I

MECHANICAL CONTROLS II

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LIGHTING PLAN

POWER PLAN

ENLARGED SITE PLAN

ELECTRICAL LEGEND & NOTES

OVERALL ELECTRICAL SITE PLAN

FIXTURE, MECH SYSTEM, LTG CONTROLS

MECHANICAL SCHEDULES III

HVAC ROOF PLAN

PLUMBING DEMOLITION PLAN

MECHANICAL DEMOLITION PLAN

PLUMBING UNDERGROUND PLAN

HVAC REFLECTED CEILING PLAN

PLUMBING FIRST FLOOR PLAN

SHEET NAME

SHEET#

M0.01

M1.02

M4.00

M5.00

M5.01

M6.00

M7.01

E0.01

E2.01

ELECTRICAL

MECHANICAL

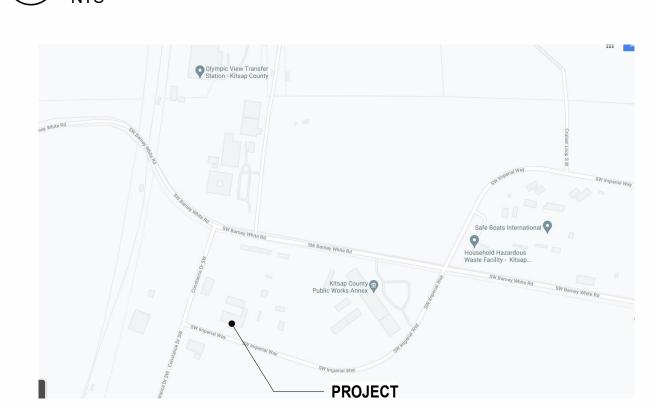
ATTN: JEFF HARDWICK, MECHANICAL ATTN: CARRIE TAYLOR, ELECTRICAL ATTN: DAVE LISIECKI, FIRE PROTECTION 6021 12TH ST E, STE. 200 FIFE. WA 98424 253-922-0446 JEFF.HARDWICK@BCEENGINEERS.COM

CARRIE.TAYLOR@BCEENGINEERS.COM NATURE BY DESIGN. INC ATTN: KATHY OWENS

KATHY@NATUREBYDESIGNINC.COM

253-460-6067

1320 ALAMEDA AVE STE. B, FIRCREST, WA 98466



RESILIENT BASE

REINFORCING BAF

ROOF DRAIN

RECESSED

RECEPTACLE

REFERENCE,

REFRIGERATOR

REINFORCE(D)(ING)

REFLECTED CEILING PLAN

HDWD

HORIZ

HARDWOOD

HOLLOW METAL

RESISTANT RATING)

& AIR CONDITIONING

HEATING, VENTILATION,

HORIZONTAL

HOURS (FIRE

HANGER

ENERGY CODE NOTES

CONSTRUCTION - CODES

CURRENT CODES: 2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2018 WA STATE IBC AMMENDMENTS (WAC 51-50) 2018 INTERNATIONAL MECHANICAL CODE (IMC) 2018 INTERNATIONAL FUEL & GAS CODE (IFGC)

2018 UNIFORM PLUMBING CODE (UPC) 2018 INTERNATIONAL ENERGY CONSERVATION CODE AS AMENDED PER WAC 51-11 BREMERTON MUNICIPAL CODE (BMC)

BUILDING AREA (202)

SINGLE STORY

BUILDING AREA (EXISTING): 9,600 SF BUILDING AREA (NEW): 92 SF TOTAL SF: 9,692 SF

NEW ENTRY CANOPY: 214 SF TOTAL FIRE AREA: 9,906

EXISTING PEDESTRIAN WALKWAY (NO CHANGE): 1,276 SF DOES NOT CONTRIBUTE TO BUILDING AREA (3104.1) NOT CONSIDERED PART OF BUILDING STRUCTURE (3104.2) IF NOT PART OF BUILDING, THEN DOESN'T CONTRIBUTE TO BUILDING'S FIRE AREA PER DEFINITION OF "FIRE AREA" IFC 202.

OCCUPANCY (CH. 3)

SEPARATIONS (508.3) **USE NON-SEPARATED**

ALLOWABLE AREA (TABLE 506.2) / NON SEPARATED OCC (508.3)

USE MOST RESTRICTIVE A-3 NO SEPARATION IS REQUERED BETWEEN NON-SEPARATED OCCUPANCIES (508.3.2) BASE PER TABLE FOR V-B S1: 24,000 SF, OK ALLOWABLE FRONTAGE INCREASE (506.3.2): NOT USED

CONSTRUCTION TYPE (CH. 6)

FIRE RESISTANCE RATING REQUIREMENTS (TABLE 601)

CONCEALED SPACES (TABLE 718)
FIREBLOCKING: PROVIDE IN CONCEALED WALL SPACES HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FT. MAY BE EXCLUDED IN SPACES WITH NO COMBUSTIBLE

INTERIOR WALL AND CEILING FINISHES (TABLE 803.1.3) ROOMS AND ENCLOSED SPACES: CLASS C

INTERIOR WALL AND CEILING FINISHES (TABLE 808)
ACOUSTICAL CEILING SYSTEM TO BE INSTALLED PER ASTM C635 AND ASTM C636

AUTOMATIC SPRINKLER SYSTEMS (903) EXISTING FIRE SUPPRESSION SYSTEM TO BE MODIFIED UNDER SEPARATE PERMIT

PORTABLE FIRE EXTINGUISHERS (906) WHERE FLAMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR DISPENSED

1 PER 11,250 SF WITH MAX TRAVEL DIST. OF 75' OR AS DIRECTED BY FIRE MARSHAL

<u>FIRE ALARM AND DETECTION SYSTEM (907)</u>
EXISTING FIRE ALARM SYSTEM TO BE UPGRADED AS REQUIRED BY THE FIRE MARSHAL UNDER SEPARATE PERMIT.

EXITS AND COMMON PATH OF TRAVEL (TABLE 1006.2.1)
SPACES WITH OCCUPANT LOADS OVER 49 TO HAVE MIN. 2 EXITS SPACES WITH ONE EXIT COMMON PATH OF TRAVEL:

A OCC (NON FIXED SEATS) - 75'

B OCC - 100'

S-1 OCC - 100' EXIT ACCESS TRAVEL DISTANCE (TABLE 1017.2)

A: 250' (WITH FIRE SPRINKLERS) B: 300' (WITH FIRE SPRINKLERS)

CORRIDOR (TABLE 1020.1)

S-1: 250' (WITH FIRE SPRINKLERS)

NOT RATED WHEN BUILDING IS FIRE SPRINKLERED

ACCESSIBLE ROUTE (TABLE 1104)
PROVIDE AT LEAST ONE ACCESSIBLE ROUTE OF TRAVEL FROM ARRIVAL POINTS TO ENTRANCE.

PUBLIC ENTRANCE WITH POWER ACTUATED DOORS (TABLE 1105.1.8)

USE MOST RESTRICTIVE A-3, IF BUILDING OCC LOAD IS OVER 300, POWER-OPERATED ENTRY IS REQUIRED. POWER ACTUATED DOOR IS VOLUNTARILY BEING PROVIDED AT

PLUMBING FIXTURES (2902)

MIXED USES.

	TOTAL OCC.		WATER CLOSETS	LAVATORIES
A-3	192	REQ.	M:1/125, F:1/65	1/200
	M: 96		M: .77	M: .48
	W: 96		W: 1.46	W: .48
В	40	REQ.	M,F: 1/25	1/40
	M: 20		M: .8	M: .5
	W: 20		W: .8	W: .5
S-1	2	REQ.	M,F: 1/100	1/100
	M: 1		M: .01	M: .01
	W: 1		W: .01	W: .01

TOTAL REQURED

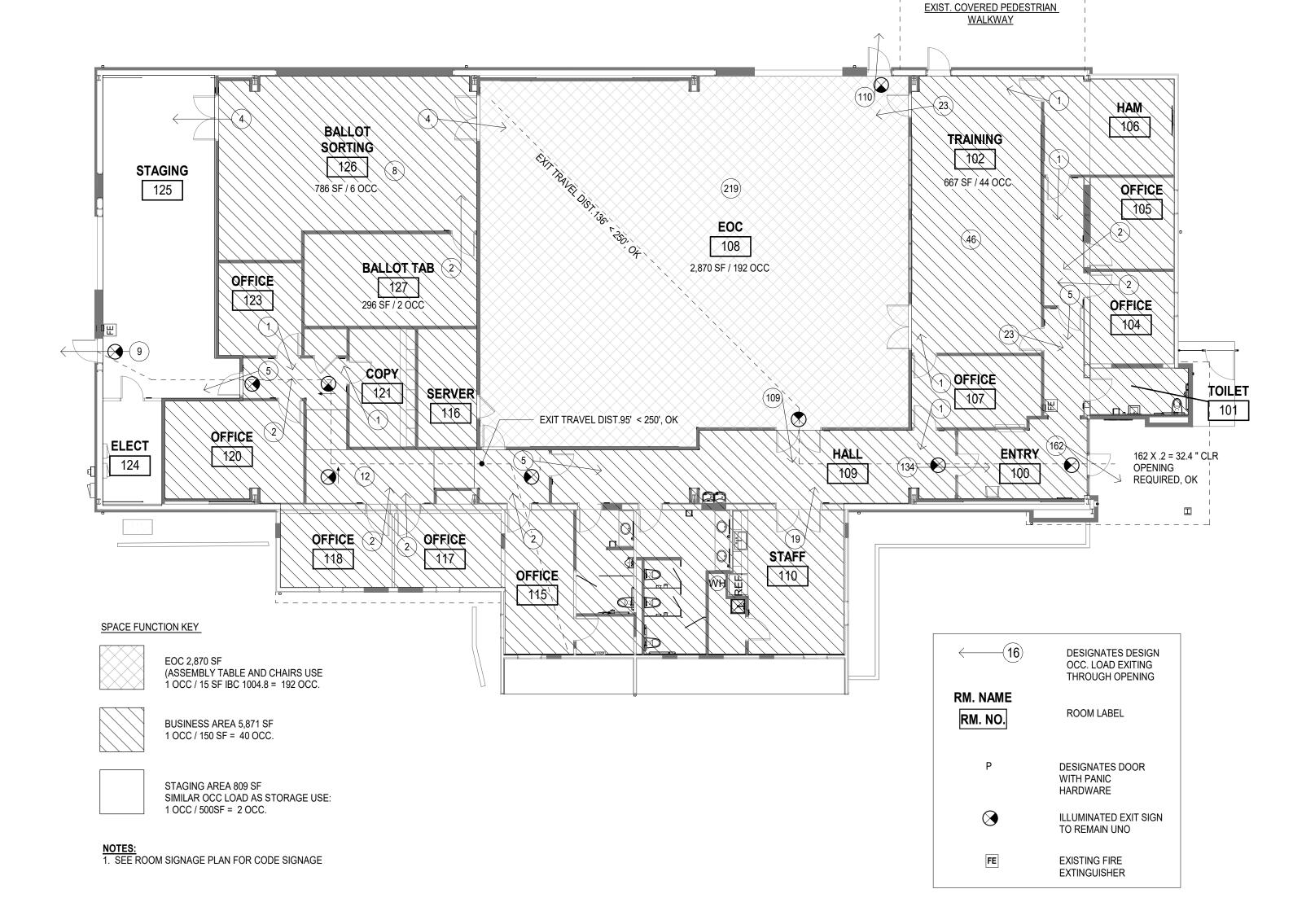
M: 1.58, 2 PROVIDED M: .99, 1 PROVIDED W: 2.27, 3 PROVIDED W: .99, 2 PROVIDED ADDITIONAL UNISEX TOILET RM. ALSO PROVIDED. NOT INCLUDED IN CALCULATIONS

BUILDINGS CONNECTED BY PEDESTRIAN WALKWAYS CAN BE CONSIDERED TO BE SEPARATE STRUCTURES (3104.2)

OPEN SIDES ON WALKWAY. WHERE THE DISTANCE BETWEEN CONNECTED BUILDINGS IS MORE THAN 10 FT (45 FT ACTUAL) EACH BUILDING NEED NOT BE FIRE RESISTANCE RATED PROVIDED SIDEWALLS OF THE WALKWAY ARE NOT LESS THAN 50% OPEN (100% OPEN ACTUAL) THE ROOF SHALL BE LOCATED NOT MORE THAN 40 FT ABOVE GRADE PLANE WHEN NOT SPRINKLERED. (3104.5.3)

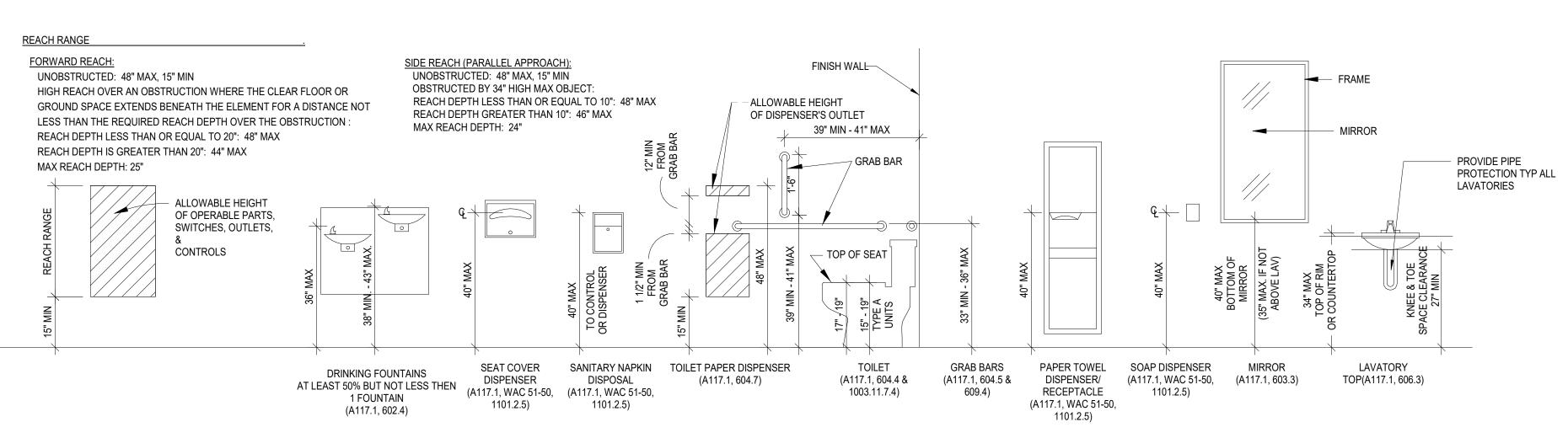
WALKWAY CAN BE OF COMBUSTIBLE CONSTRUCTION IS BUILDINGS ARE OF COMBUSTIBLE CONSTRUCTION (ACTUAL AS EXISTS NON-COMBUSTIBLE)(3104.3 EXC. 1)

WALKWAY SHALL NOT BE MORE THAN 30 FT WIDE (25 FT ACTUAL)



BUILDING CODE SUMMARY

EXITING PLAN - LIFE SAFETY



KNEE CLEARANCE TOE CLEARANCE 17" - 25"

ACCESSIBILITY PROFILE

IN ACCORDANCE

WITH ANSI117.1

SECTION 306.



BAU ARC

ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522

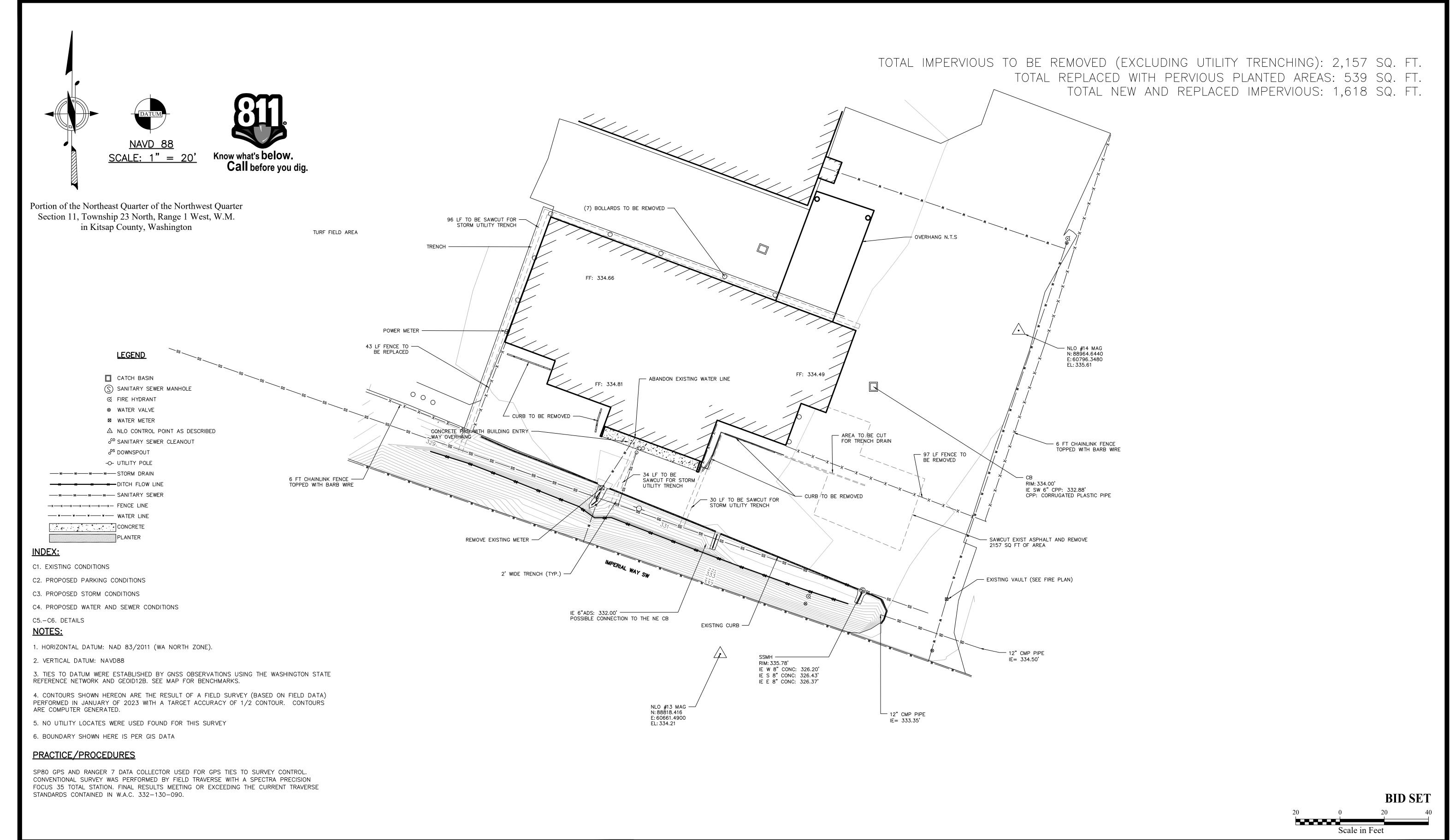
REGISTERED ARCHITECT JAMES M. BAURICHTER STATE OF WASHINGTON

IMPROVEMENT TENA KCDEM

BP 23-00525 REVISION SCHEDULE **BID SET** DATE:

8900 SW IMPER BREMERTON, N

JULY 7, 2023 BA NO: 2021.03 CHECKED: JMB CODE / LIFE SAFETY



			REVISIONS		BY	DATE
NO.	DATE	BY	DESCRIPTION	DESIGNED	MZ	2/23
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				CHECKED		
				APPROVED		
				ACCEPTED		

Engineering, Planning and Surveying
(360) 895-2350 or (360) 876-2284

2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366



EXISTING CONDITIONS/DEMO PLAN

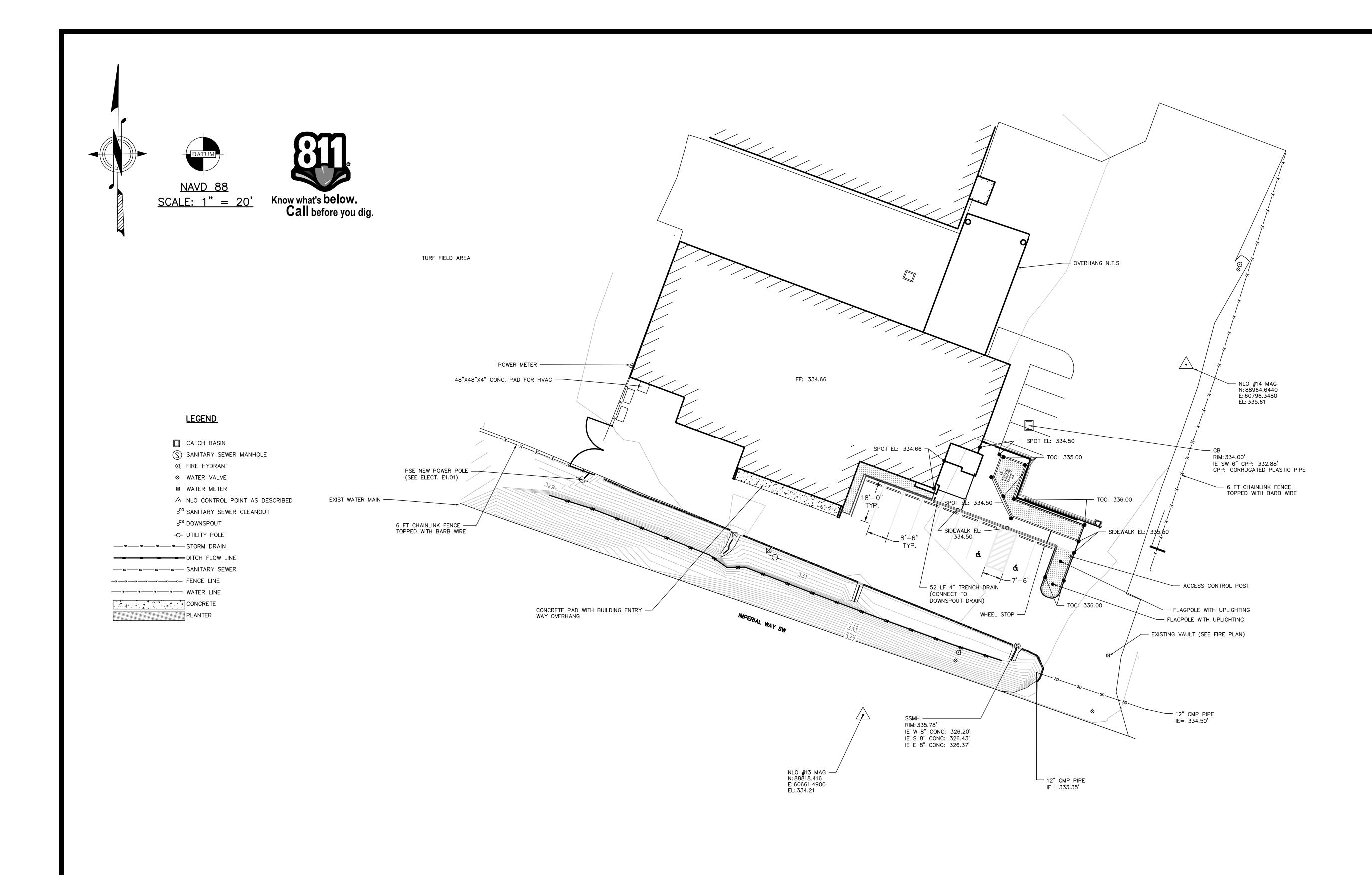
KCDEM Tenant Improvement

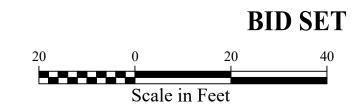
8900 SW Imperial Way Bremerton, WA

OR:	Bau Architects
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Attn: Jim Baurichter 1230 Bay St. Ste 110 Port Orchard, WA 98366

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DATE: JU	JLY 7, 2023
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SHEET	C1 of 6





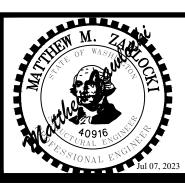
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PROPOSED PARKING CONDITIONS

KCDEM Tenant Improvement

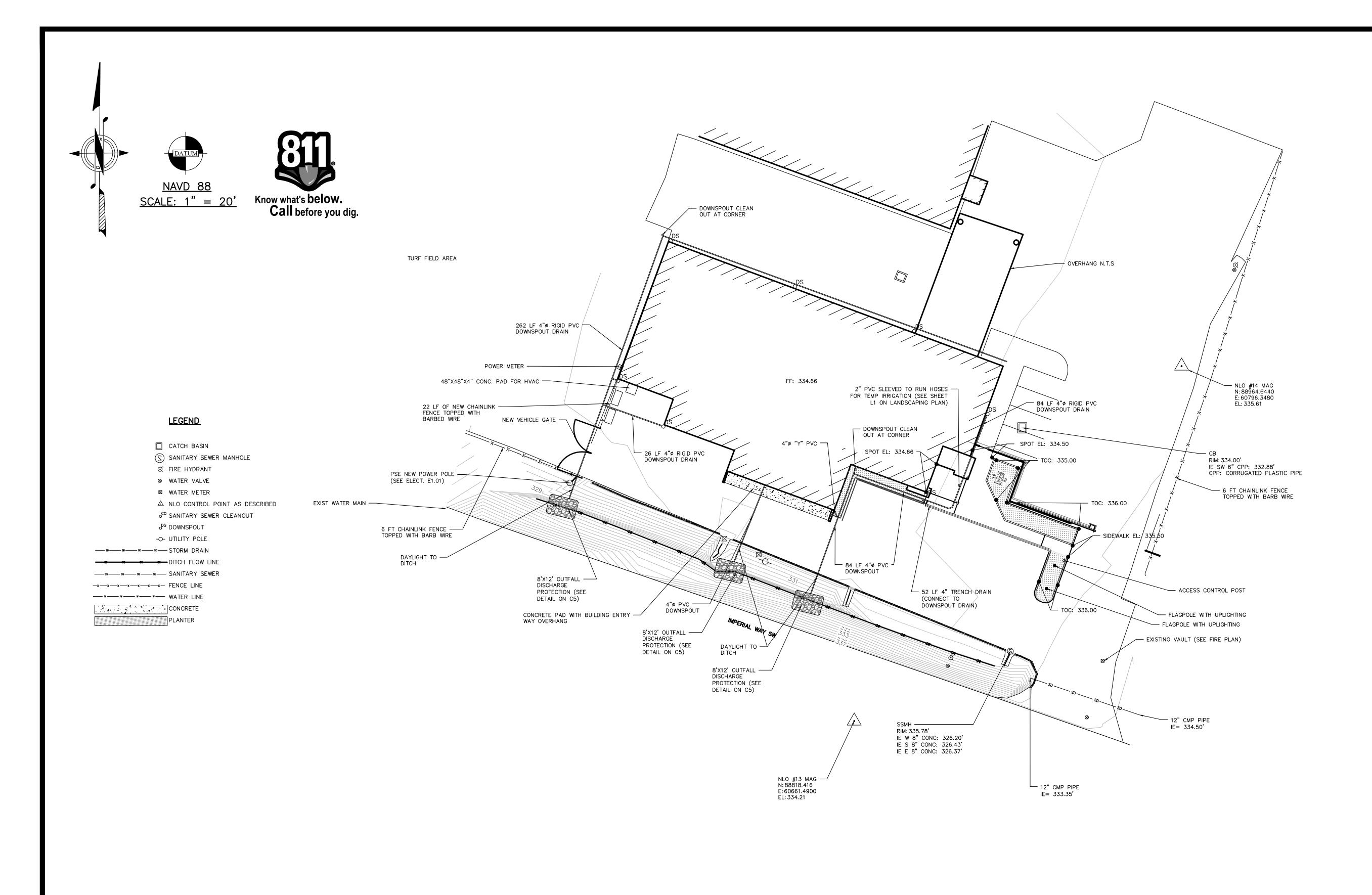
8900 SW Imperial Way Bremerton, WA

FOR:	Bau Architects
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Attn: Jim Baurichter 1230 Bay St. Ste 110 Port Orchard, WA 98366

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Scale in Feet

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				APPROVED		
				ACCEPTED		

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PROPOSED STORM CLEANOUT CONDITIONS

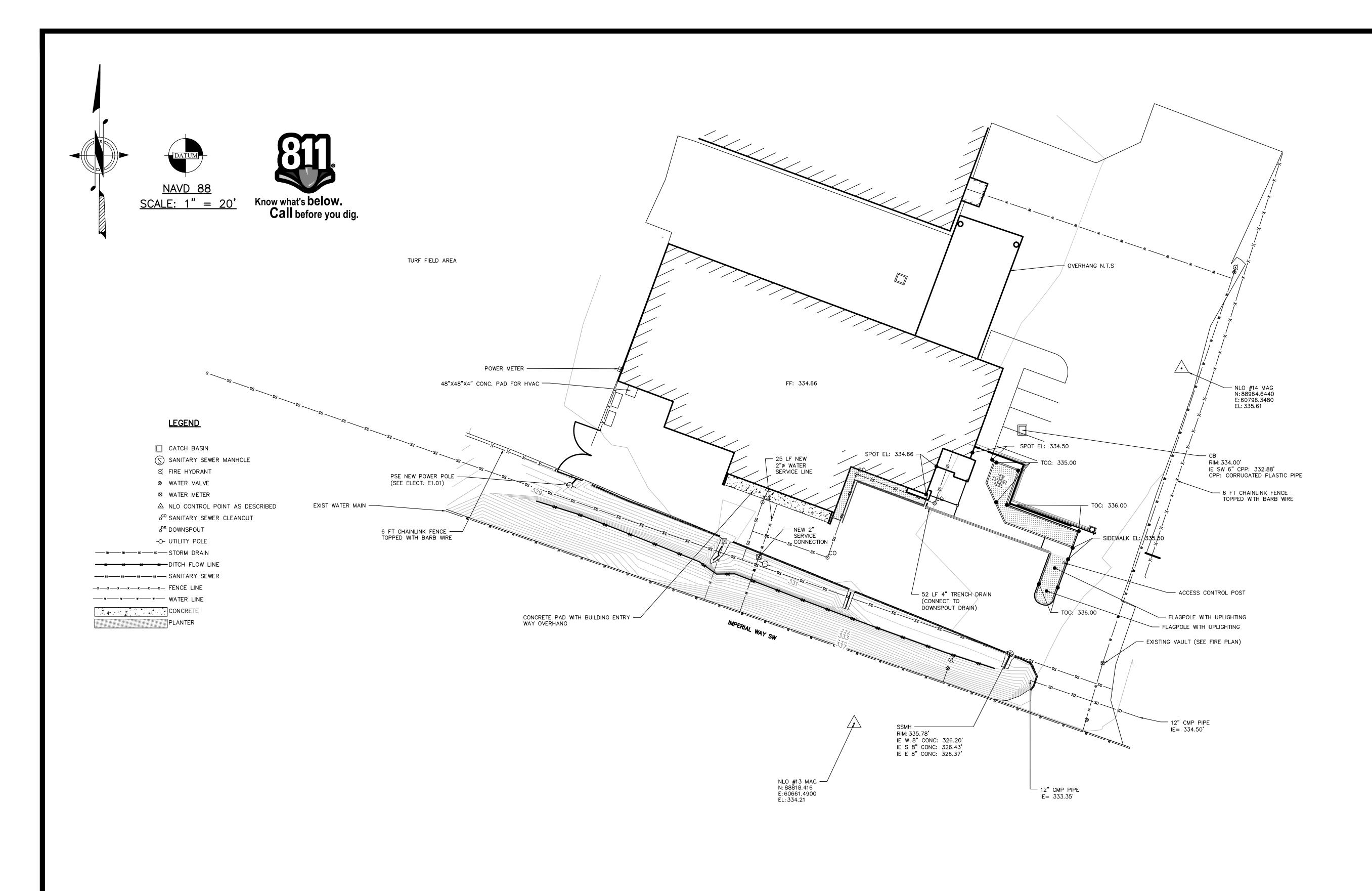
KCDEM Tenant Improvement

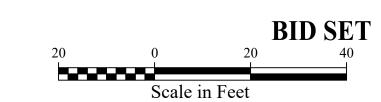
8900 SW Imperial Way Bremerton, WA

Attn: Jim Baurichter 1230 Bay St. Ste 110 Port Orchard, WA 98366

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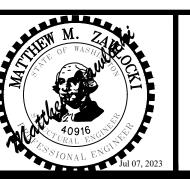
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				APPROVED		
				ACCEPTED		

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PROPOSED WATER AND SEWER CONDITIONS

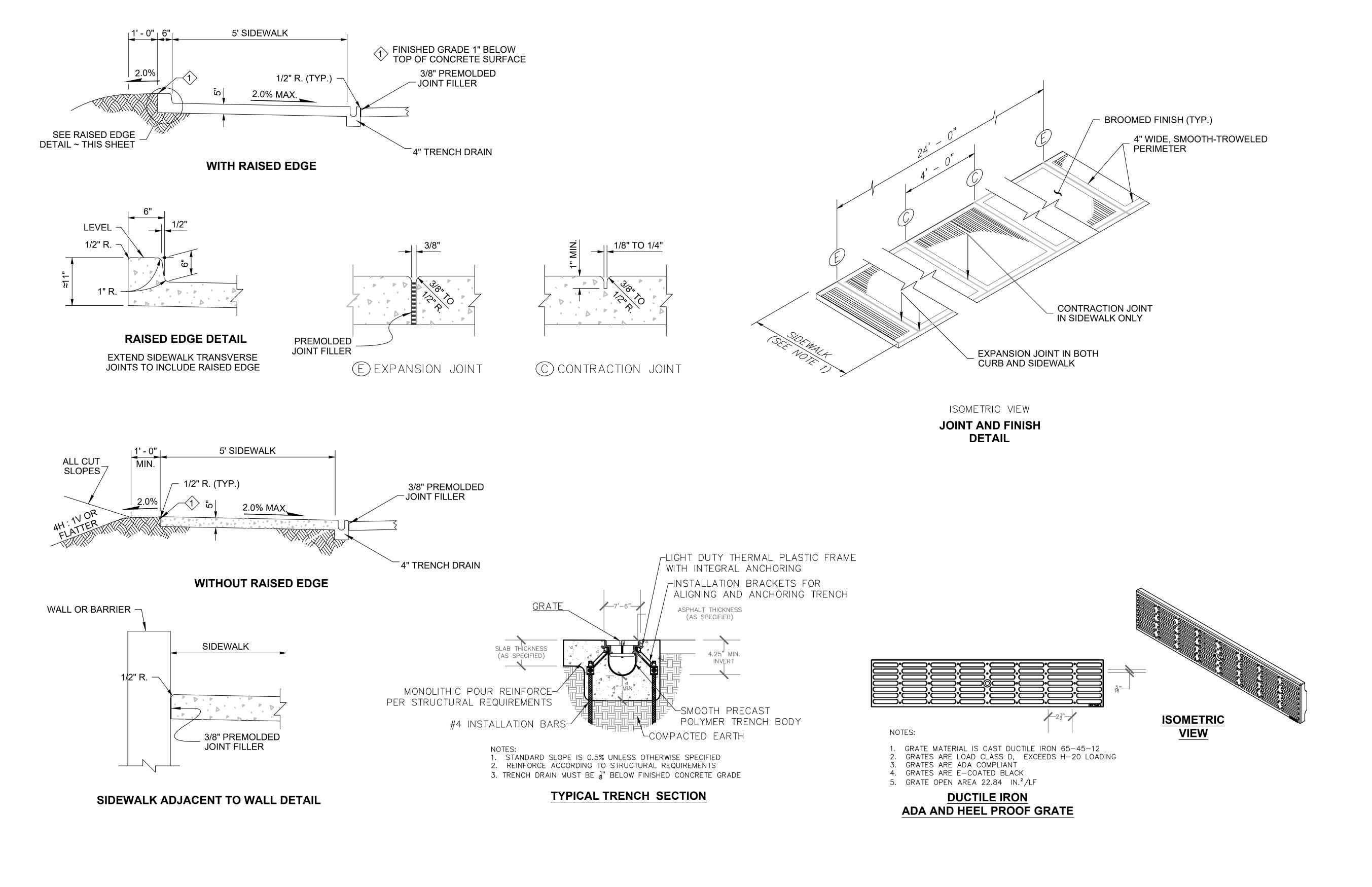
KCDEM Tenant Improvement

8900 SW Imperial Way Bremerton, WA

Attn: Jim Baurichter 1230 Bay St. Ste 110 Port Orchard, WA 98366

12454	
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SCALE: 1"= 20'	

SHEET C4 OF 6



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				CHECKED		
				APPROVED		
				ACCEPTED		

N.L. Olson & Associates, Inc.
Engineering, Planning and Surveying
(360) 895-2350 or (360) 876-2284

2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366



DETAILS

KCDEM Tenant Improvement

8900 SW Imperial Way Bremerton, WA

Bau Architects

FOR:

Attn: Jim Baurichter 1230 Bay St. Ste 110 Port Orchard, WA 98366 SCALE: NTS

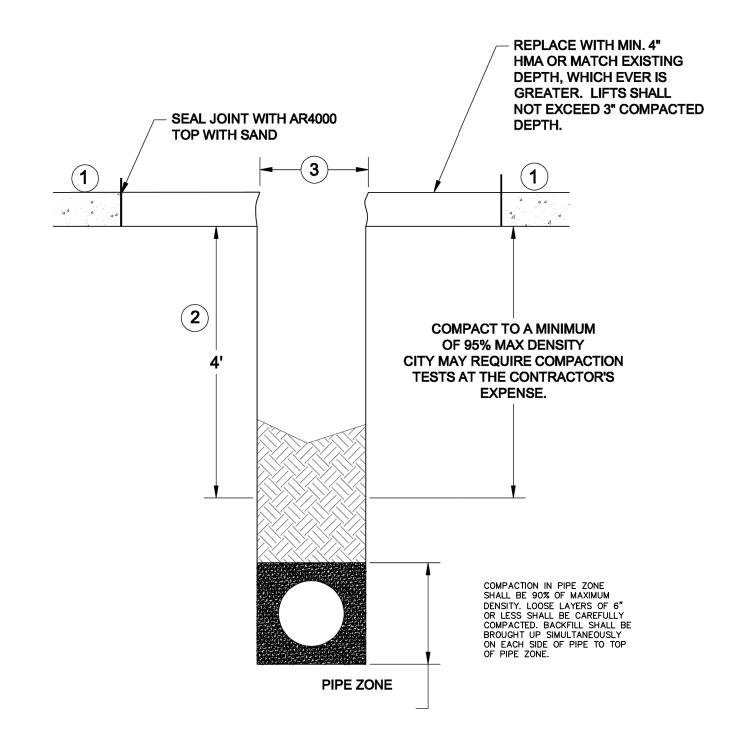
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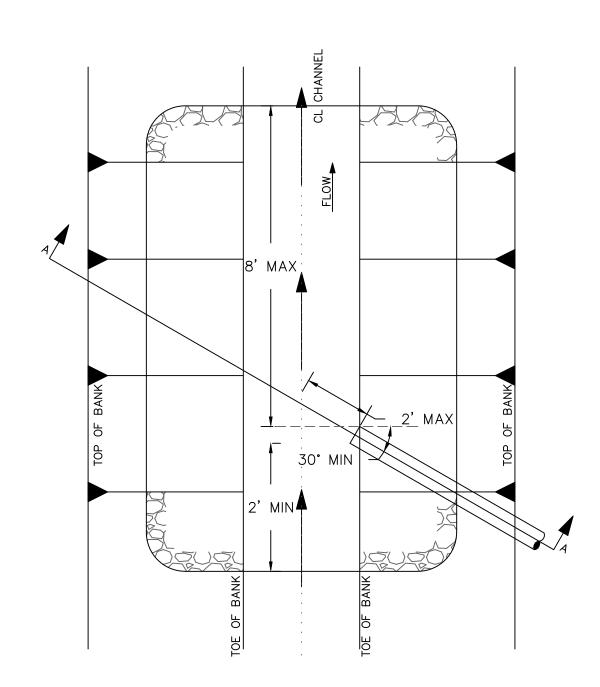
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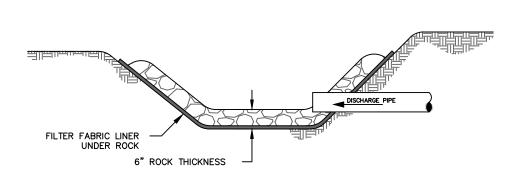


TRENCH RESTORATION

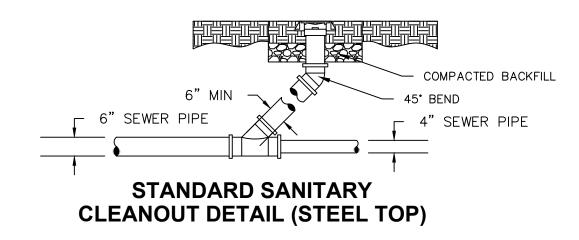
ASPHALT CONCRETE

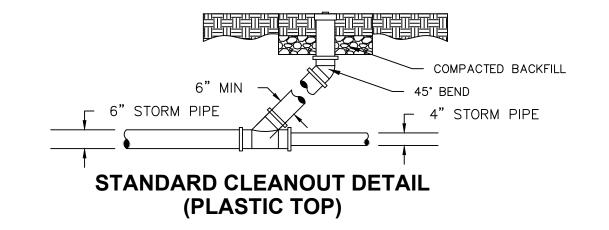


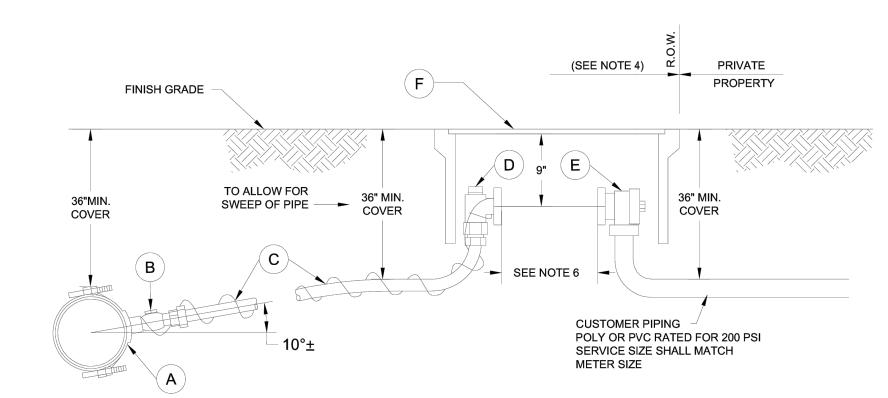
PIPE OUTFALL DISCHARGE PROTECTION - PLAN VIEW



OUTFALL DISCHARGE PROTECTION - SECTION A







HORIZONTAL METER INSTALLATION

- CAST IRON SERVICE SADDLE WITH STAINLESS STEEL BANDS WILL BE USED ON ALL WATER MAINS.
- WILL BE OSED ON ALL WATER WATER WATER
- B 1 1/2" OR 2" CORPORATION STOP (CC OR IP). X COMPRESSION.
- C 1 1/2" OR 2" HDPE @ COPPER TUBING SIZE, HIMOL W/ S.S. INTERNAL POLY STIFFENERS W/ 12 GA SOLID COPPER BLUE COATED LOCATE WIRE.
- 1 1/2" OR 2" ANGLE METER VALVE, COMPRESSION X FLANGE.
- E 1 1/2" OR 2" ANGLE METER CHECK VALVE IP X FLANGE.
- HDPE METER BOX WITH EJIW #1730 TR METER COVER WITH RECESSED TOUCH READ PIT LID ADAPTER HOLE. MID STATES # 173018B OR RAVEN METER BOX # 17X30X18 OR APPROVED EQUAL.
- G METER SETTER W/ BYPASS MAYBE USED IN PLACE OF D

NOTES:

- SERVICE LINES SHALL BE PERPENDICULAR TO THE WATERMAIN UNLESS NOTED

 OTHERWISE BY ENGINEER.
- OTHERWISE BY ENGINEER.
- SERVICE SADDLE WILL BE INSTALLED AND. CORPORATION STOPS WILL BE TAPPED INTO AN "EXISTING MAIN" BY CITY FORCES ONLY.
 AN APPROVED BACKFLOW ASSEMBLY MUST BE INSTALLED PER WA. DEPT OF HEALTH ON ALL IRRIGATION SYSTEMS. THE SYSTEM SHALL NOT BE PLACED INTO

SERVICE UNTIL THE REQUIRED BACKFLOW ASSEMBLY IS INSTALLED (PER CITY STANDARD DETAILS), TESTED AND INSPECTED BY A CERTIFIED CROSS CONNECTION

- CONTROL SPECIALIST.

 4. THE WATER METER SHALL BE SUPPLIED AND INSTALLED BY THE BREMERTON PUBLIC WORKS AND UTILITIES DEPARTMENT. ALL OTHER MATERIALS WILL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR OR HOMEOWNER. WHEN THE INSTALLATION IS COMPLETE AND INSPECTED, THE CITY WILL MAINTAIN THE SERVICE
- 5. LOCATE WIRE SHALL BE 12 GA BLUE COATED SOLID COPPER WIRE, STRIPPED AT BOTH ENDS AND TIGHTLY WRAPPED AROUND (GROUNDED TO) THE CORPORATION STOP A MINIMUM OF TWO TIMES OR CRIMP TO THE TRACING WIRE ON THE MAIN. THE

UPSTREAM OF THE METER, INSIDE THE RIGHT OF WAY.

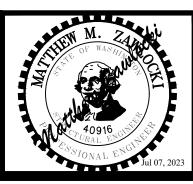
6. METER DIMENSIONS VARY BY SIZE.

2" DOMESTIC/IRRIGATION SERVICE CONNECTION

BID SET

			BY	DATE		
NO.	DATE	BY	DESCRIPTION	DESIGNED	MZ	2/23
				DRAWN	MZ	2/23
				CHECKED		
				APPROVED		
				ACCEPTED		

Engineering, Planning and Surveying
(360) 895-2350 or (360) 876-2284
2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366



DETAILSKCDEM Tenant Improvement

8900 SW Imperial Way Bremerton, WA

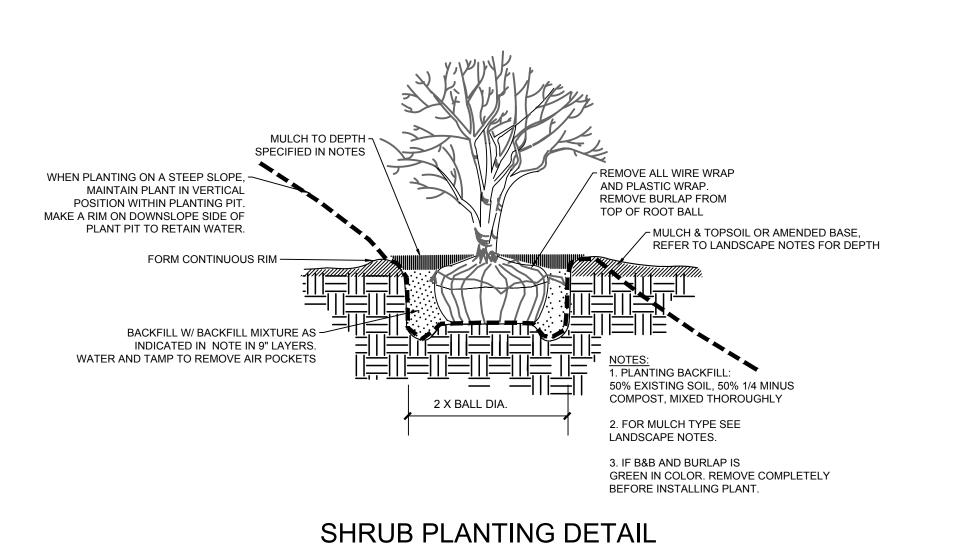
Attn: Jim Baurichter 1230 Bay St. Ste 110 Port Orchard, WA 98366

SCALE:	NTS
DATE: JU	LY 7, 2023
DRAWING	NUMBER

SHEET C6 OF 6

12454

		PLANT LEGEND									
TREES											
SHRUBS & GROUND COVERS											
SYMBOL	QTY	DESCRIPTION	SIZE								
\odot	3	Rosemarinus officinalis 'Arp' ARP Rosemary	5 Gal. Min.								
Bry B	3	Pieris japonica 'Little Heath' Little Heath Pieris	2 Gal. Min.								
	2	Pinus mugo var. pumilio Dwarf Mugo Pine	5 Gal. Min.								
% ** *** ******************************	4	Nandina domestica 'Gulf stream' Gulf Stream Heavenly Bamboo	2 Gal. Min.								
£\$	5	Potentilla f. 'Sunset' Sunset Potentilla	2 Gal. Min.								
\bigcirc	2	Erica carnea 'Springwood White' White Winter Heather	1 Gal. Min.								
\otimes	3	Erica carnea 'Springwood Pink' Pink Winter Heather	1 Gal. Min.								
\triangle	4	Calluna v 'Velvet facination' Velvet Facination Heather Gray	1 Gal. Min.								
	1	Erica cinera 'Buckleberry Red' Buckleberry Red Heather Dk Red	1 Gal. Min.								
**	4	Helictotrichon sempervirens Blue Oat Grass	1 Gal. Min.								
	2	Landscape Boulder - approx 30" x 22" x 24" High - place boulder on top of topsoil and place mulch around stone to appear buried in the ground (3")									



No Scale

2 - 2" SLEEVES FOR TEMPORARY

— ROOF DOWNSPOUT

EXIST GAS METER

CANOPY DOWNSPOUT

IRRIGATION UNDER

PAVEMENT

Know what's below. Call before you dig.



KITSAP COUNTY DEM
8900 SW IMPERIAL WAY
city of bremerton, wa

ROJECT

REVISIONS:

DRAWING ISSUED FOR:

SET

DATE: July 7, 2023



2354

KLO KLO

CIVIL

1:1

1:10

2354LSB

DRAWN BY:
CHECKED BY:
X-REFS:
PLOT SCALE:
DRAWING SCALES:

DRAWING CONTENTS

PROJECT NO:

FILE NAME:

LANDSCAPE PLAN

DRAWING NO.:

1 OF 2

GENERAL LANDSCAPE NOTES

- 1. Contractor is responsible for obtaining all necessary permits from the appropriate agency prior to commencing work. Contractor shall contact Line Locators (811) a min. of 48 hours prior to any digging or trenching. If there are any discrepancies with existing lines and landscaping, it is the contractor's responsibility to contact the landscape architect and request a site visit to address the conflicts. Contractor shall comply and conform to any and all local and state codes for work, schedules and any other project related requirements.
- 2. Contractor shall coordinate directly with the landscape architect for all landscape related issues, concerns, inspections and approvals. Contractor shall provide the landscape architect with a written request for a site visit to address any related items.
- 3. Scope of work shall include any and all specified and unspecified but related incidental work to achieve the design indicated on the landscape plans. All labor, materials, subcontractors, equipment, and related incidental items shall be supplied and installed to achieve a complete project, unless directed otherwise by the general contractor or landscape architect.
- 4. Contractor to verify all sub grades are set below required amendments to insure the finished grade will match what is intended by civil or drainage design. All sub grades and finished or final grades shall be graded to drain to the designed drainage system with positive drainage away from all structures.
- 5. Grade Preparation:
 - Slopes used for plantings shall be less than 3:1 or 33 percent.

Soil Preparation.

- a. In new planting areas, remove 12" of debris and compacted soils, gravel. Ensure drainage from the planting areas around the building and parking lot have yard drains and perforated drainage to the foundation drain or downspout drainage.
- b. Scarify an additional 6 inch depth of planter and place 9" of 5 way topsoil. Integrate the new soil with the scarified area.

6. Mulching of Newly Planted or Replanted Areas.

- a. Mulches must be applied to the following depths: a minimum 3 (three) inches over top soil.
- b. Mulches shall be highly organic compost Cedar Grove or similar.
- c. Nonporous materials, such as plastic sheeting, shall not be used in any area of the landscape because of down-slope erosion and potential soil contamination from herbicide washing.
- d. Mulch should be applied regularly to and maintained in all planting areas to assist soils in retaining moisture, reducing weed growth, and minimizing erosion.
- 7. Contractor shall field layout all plant material and contact the landscape architect for a site visit or photo emailed to approve the layout. Any field modifications shall be done by the landscape architect prior to planting.
- 8. Contractor shall immediately notify the landscape architect of any poor drainage condition in landscape areas. No standing water shall be permitted in any landscape areas either on the surface or below the topsoil. The landscape architect shall coordinate the drainage solution with the general contractor and civil engineer. Once the concerns have been remedied planting shall commence.
- 9. All groundcover to be planted in a triangular spacing formation, equal in all directions to the centers of the groundcovers in distances indicated in the legend. Contractor shall verify all quantities of groundcovers by area calculations and spacing requirements.
- 10. Landscaping is to be per plan. Plant substitutions due to availability or otherwise will be allowed only with landscape architect, owner and agency approval. Any substitutions will be with material of similar size, growth characteristics, and quality.

11. All trees must be staked as necessary so as to maintain material in a healthy, vigorous growing condition.

- 12. Landscaping shall be installed in a professional workmanlike manner that is consistent and accepted throughout the industry. All landscape and irrigation work shall be performed by experienced persons familiar with scope of project.
- 13. All landscape material and labor is to be guaranteed for a period of one full year from the time of completion.
- 14. When planting 'Balled and Burlapped' product, remove all burlap, string & wire from any B&B plant material, cut and remove jute strings. Gently place in tact Rootbal into planting pit. If rootball breaks or is not solid the plant is unacceptable and shall be replaced.

15. Street trees shall be high branching with canopy that starts at least 6' above finish grade.

- 16. All plant I.D. tags are to remain on the plant material until final inspection has been completed. Once approved all plant I.D. tags shall be removed and discarded appropriately.
- 17. Trees shall be cared for in accordance with the American National Standards Institute (ANSI) standard practices for trees, shrubs and other woody plant maintenance (ANSI 300) in order to allow them to reach there mature height and form.
- 18. Pruning of street trees shall be performed per the ANSI 300 standards so as to maintain the natural form of the tree, encourage vigorous growth to a mature spread and height, and avoid weakening the tree to create a hazard. Street trees shall not be topped pollarded, or otherwise pruned in a manner contrary to these goals, unless there is no practicable alternative that would preserve essential utility services.
- 19.Plant material selected is drought tolerant or native species. The project proponent (property Owner) shall be responsible for maintaining and watering all plant material throughout the first growing season and in times of drought.

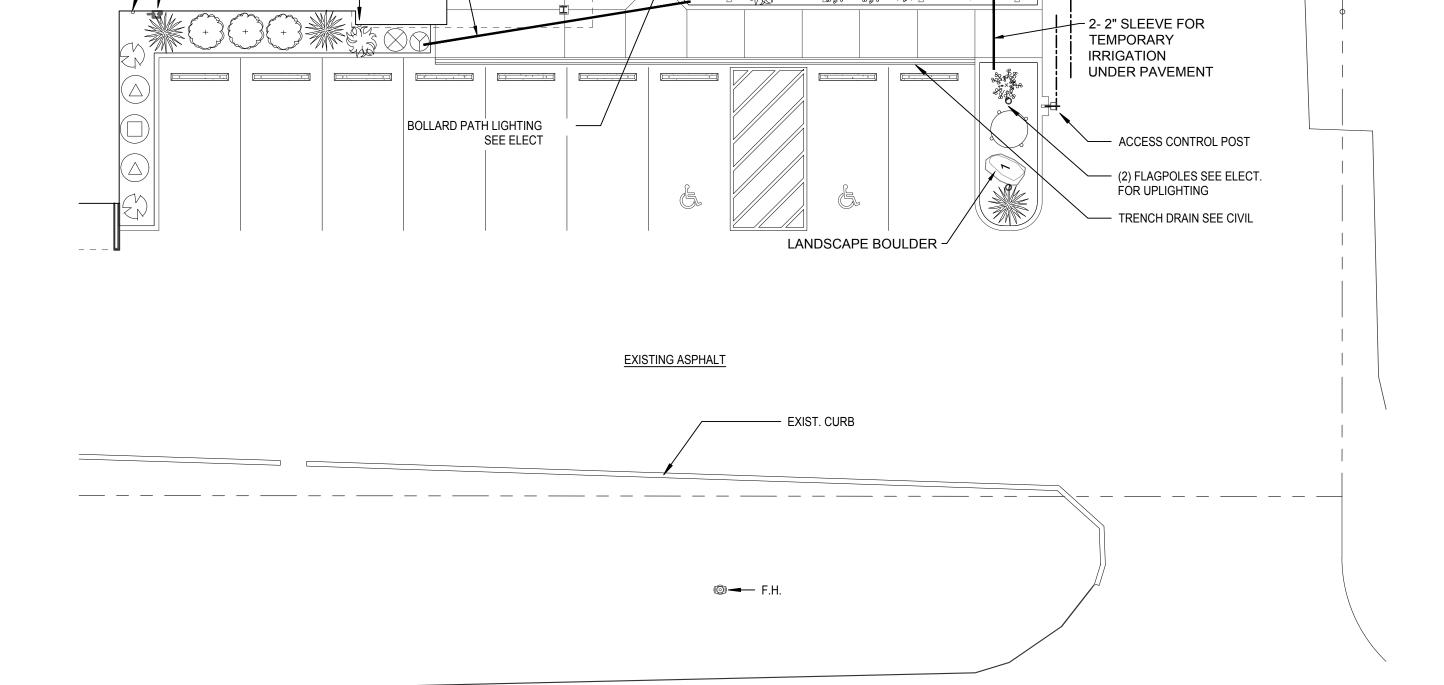
Temporary irrigation shall be provided via a Hose Bib from the building. Sleeving under concrete shall be provided to the planting beds for temporary irrigiaton lines to be run. Drip line to be placed around the plant bases. A battery timer off the hose bib will be utilized for controlling the watering times.

Owner may elect to have the contractor hired to water and warranty the plants for the establishment period. For planting warranties from contractor to be ensured, contractor shall be responsible for watering the plant material and keeping the mulch ring weed free for the first growing season as part of the contract.

It is recommended to install the landscaping in the Spring (February - April) or Fall (October - December)when dormant but before hard freeze.

TEMPORARY IRRIGATION

The project proponent shall ensure that a minimum of **one (1) inch of water is supplied each week** to the restoration area between May 1 and October 15 for a least the first two years following initial planting. The calculated amount of required water shall include both natural rainfall and temporary irrigation.



EXIST. CATCH BASIN

NEW REDESTRIAN-GATE W/

WALL MOUNTED GATE CARD

NEW 6' CHAIN LINK FENCE (NO

ACCESS CONTROL SEE

NEW CURB SEE CIVIL

READER

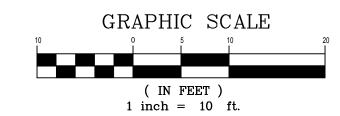
BARBED WIRE)

A5.00

NEW AUTOMATIC SLIDE GATE

SW IMPERIAL WAY





EXISTING 6' FENCE WITH BARBED WIRE TO REMAIN

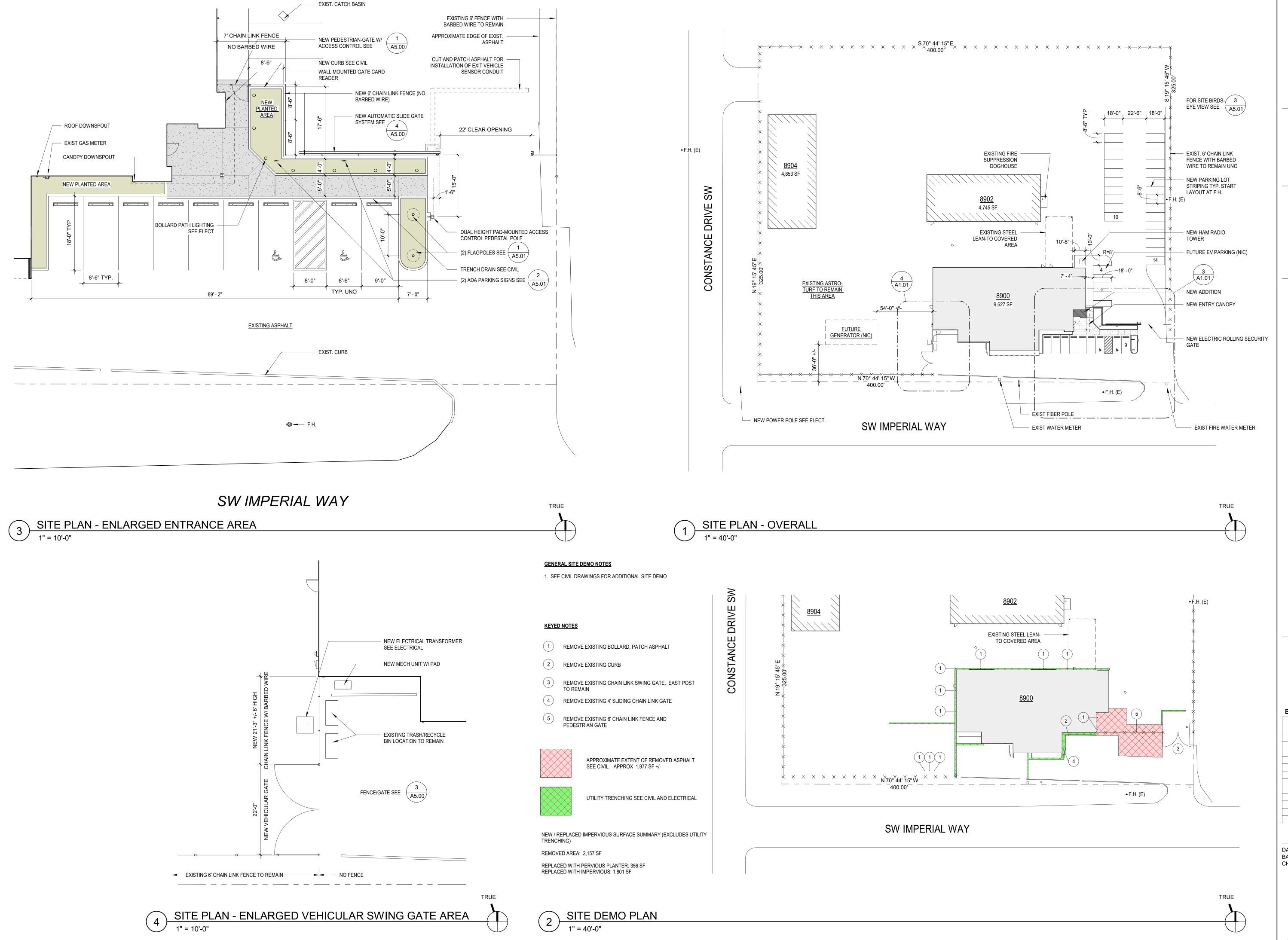
ASPHALT

SENSOR CONDUIT

APPROXIMATE EDGE OF EXIST.

CUT AND PATCH ASPHALT FOR

INSTALLATION OF EXIT VEHICLE



BAU ARC ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA

> 98366 206 406 0522

REGISTERED ARCHITECT JAMES M. BAURICHTER STATE OF WASHINGTON

NT IMPROVEMENT

TENA 8900 SW IMPER BREMERTON, 1 KCDEM

BP 23-00525 REVISION SCHEDULE

BID SET JULY 7, 2023 BA NO: 2021.03 CHECKED:

SITE PLANS

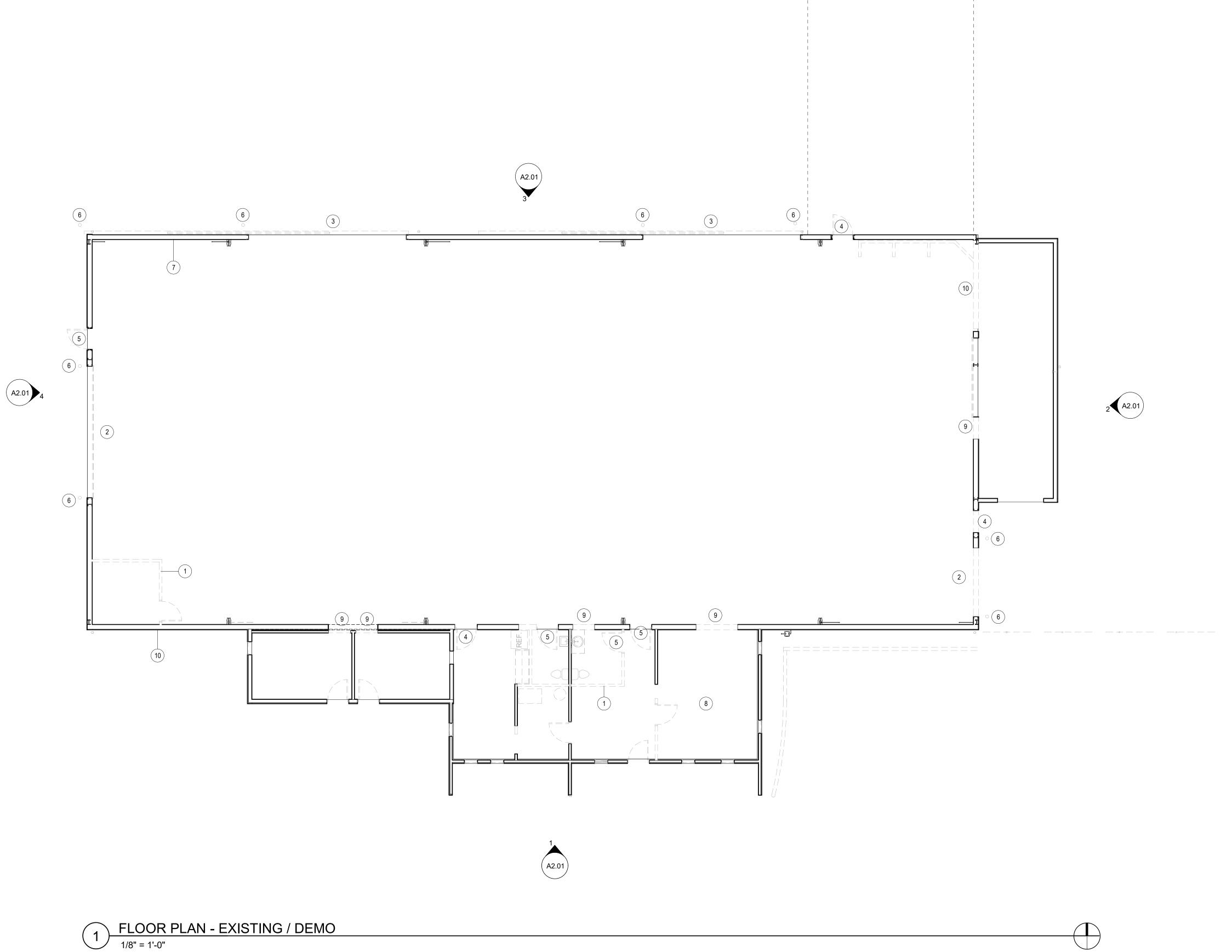
DEMOLITION PLAN NOTES

GENERAL DEMOLITION NOTES

- 1. THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION NOTES TO BE ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSESS EACH AREA AND TO PERFORM THE DEMOLITION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION
- 2. SEE ARCHITECTURAL SLAB PLAN FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- 3. SEE MEP DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS
- 4. SEE CIVIL SITE DEMO FOR ADDITIONAL DEMOLITION REQUIREMENTS
- 5. REFER TO 003100 PRE-RENOVATION REGULATED BUILIDING MATERIALS ASSESSMENT A. THE IDENTIFIED ASBESTOS CONTAINING FLOORING WILL REMOVED BY THE OWNER'S THIRD PARY ABATEMENT COMPANY PRIOR TO NOTICE TO PROCEED FOR THIS PROJECT.
 - B. SEE 028400 FOR REMEDIATION OF PCB'S

KEYED NOTES

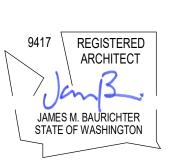
- 1 REMOVE WALL SHOWN DASHED
- 2 REMOVE EXISTING GARAGE DOOR
- REMOVE EXISTING BARN DOOR AND UPPER UNISTRUT TRACK
- REMOVE EXISTING MAN DOOR. NEW DOOR WILL BE INSTALLED AT SAME LOCATION
- 5 REMOVE EXISTING MAN DOOR.
- REMOVE EXISTING STEEL PIPE BOLLARD, SEE SITE DEMO PLAN FOR ADDITIONAL LOCATIONS
- REMOVE INTERIOR 7' METAL SIDING WAINSCOT AND 2X4 WD SILL TYP. ENTIRE PEMB
- REMOVE GWB, SUSPENDED CEILINGS, FLOOR FINISHES IN EXISTING OFFICE AREAS
- 9 DEMO WALL FOR NEW DOOR OPENING AT INTERIOR WALL (SEE STRUCT FOR REFRAMING)
- (10) CUT EXISTING ROOF BACK TO EAVE STRUT AT PEMB. SEE EAVE DETAILS



BAU ARC

ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA 206 406 0522



IMPROVEMENT

KCDEM

BP 23-00525 REVISION SCHEDULE

BID SET JULY 7, 2023 2021.03 JMB DATE: BA NO: CHECKED:

FLOOR PLAN -EXISTING / DEMO

GENERAL DEMOLITION NOTES

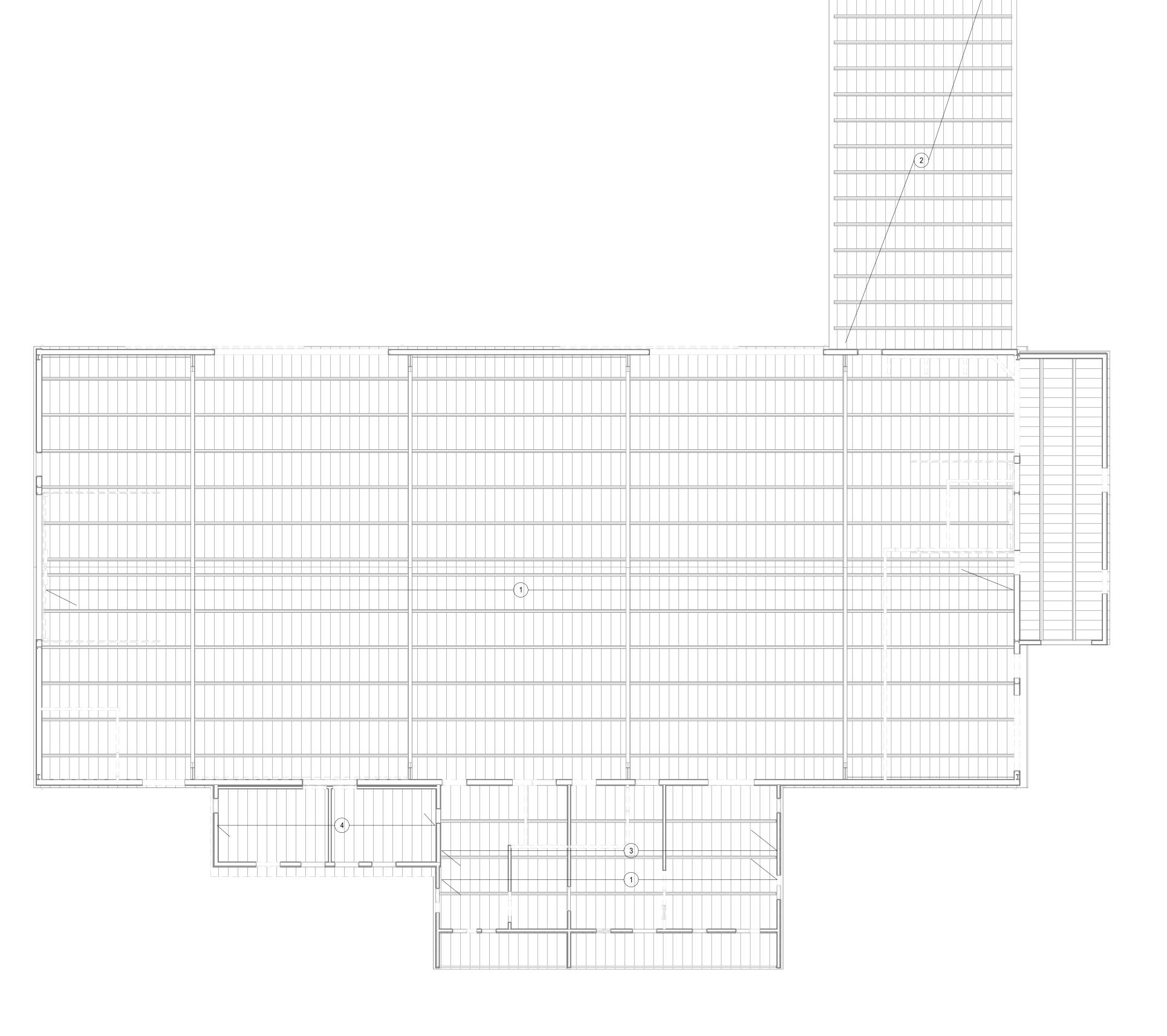
1. THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION NOTES TO BE ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSESS EACH AREA AND TO PERFORM THE DEMOLITION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION

2. SEE MEP DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS

KEYED NOTES

- 1 REMOVE EXISTING BATT INSULATION ATTACHED TO METAL ROOF ENTIRE PEMB
- 2 REMOVE EXISTING METAL ROOFING AT COVERED WALKWAY
- REMOVE EXISTING T-BAR CEILING SYSTEM (NOT SHOWN IN PLAN) THIS AREA
- REMOVE EXISTING GWB AND INSULATION AT EXISTING 2X10 ROOF FRAMING THIS AREA. REMOVE METAL ROOFING THIS AREA.

DEMOLITION RCP NOTE



B A U ARC

ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522



KCDEM TENANT IMPROVEMENT 8900 SW IMPERIAL WAY BREMERTON, WA 98312

BP 23-00525

REVISION SCHEDULE

 DATE:
 JULY 7, 2023

 BA NO:
 2021.03

 CHECKED:
 JMB

RCP - EXISTING / DEMO

A1.03

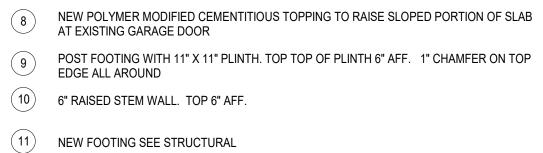
ARCH SLAB PLAN NOTES

GENERAL SLAB PLAN NOTES

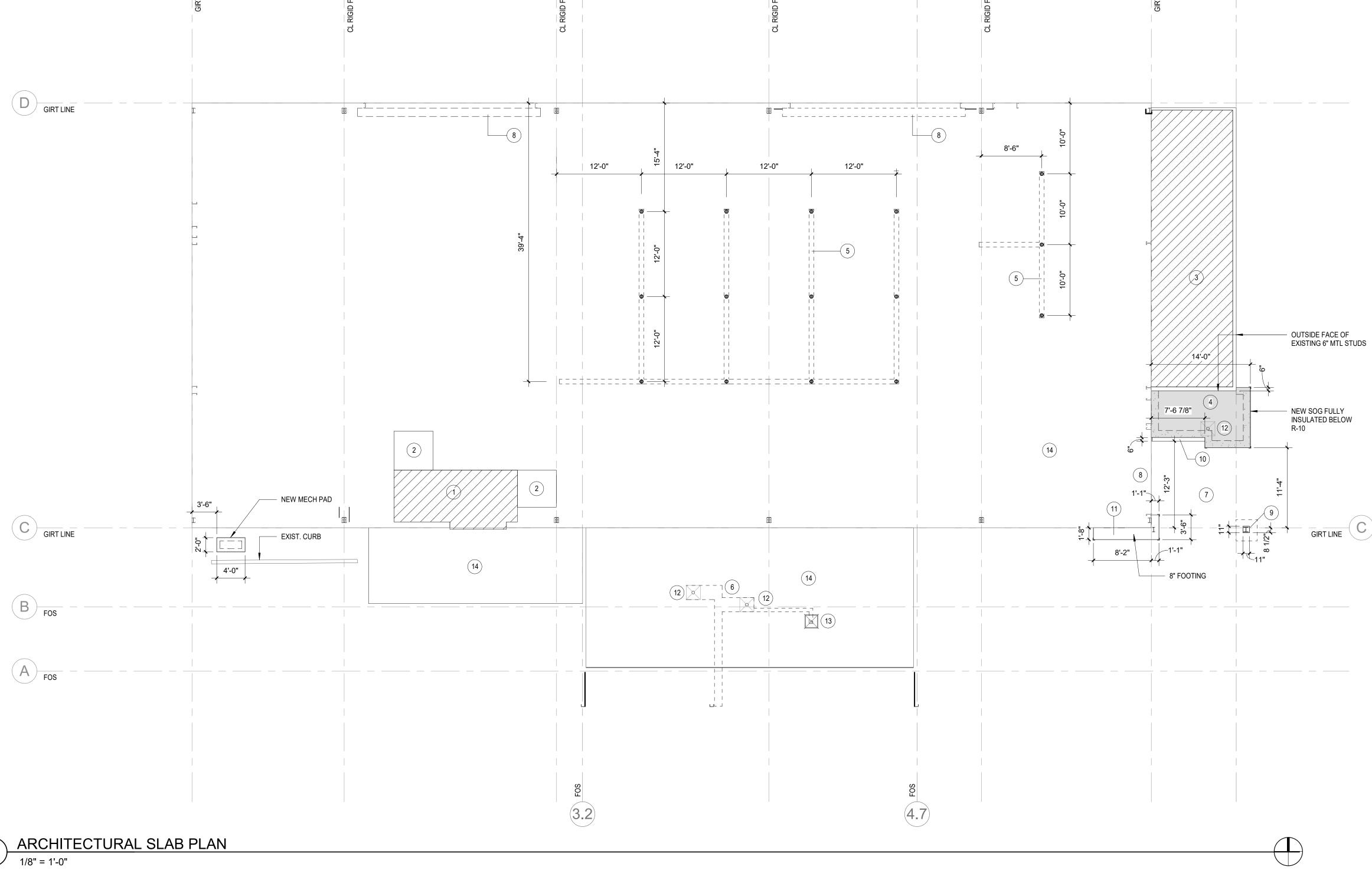
NOTE: WALLS NOT SHOWN FOR CLARITY
 PROVIDE FLOOR PREP AS REQUIRED FOR SPECIFIED FLOOR COVERING TYP.

KEYED NOTES

- NEW GYPCRETE TOPPING SLAB OVER EXIST. SOG TO RAISE HATCHED AREA APPROX. 2.5" TO MATCH EXISTING SOG ELEVATION OF ROOMS 117 AND 118.
- 2 NEW POLYMER MODIFIED CEMENTITIOUS TOPPING RAMPS CONNECTING RAISED SLAB
- AREAS TO EXISTING SOG ELEVATION
- NEW GYPCRETE TOPPING OVER EXISTING SOG TO RAISE HATCHED AREA APPROX 1.5" TO MATCH ADJACENT EXIST. SOG
- 4 NEW FTGS AND SLAB AREA SHOWN SHADED SEE STRUCT.
- 5 SAWCUT AND PATCH FLOOR FOR INSTALLATION OF NEW FLOOR ELECT. OUTLETS. COORDINATE
- WITH ELECT. PLAN
- 6 SAWCUT AND PATCH FLOOR FOR INSTALLATION OF NEW/REPLACED PLUMBING. CUT AREA IS SCHEMATIC IN NATURE AND SHALL BE COORDINATED WITH PLUMBING PLANS AND EXISTING CONDITIONS.
- 7 SITE PAVING SEE ENLARGED SITE PLAN AND CIVIL DRAWINGS TYP.



- (12) NEW FLOOR DRAIN
- 13 NEW MOP SINK LOCATION
- EXISTING SOG: PREP AS REQUIRED FOR FLOOR FINISHES



BAUARC

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522

9417 REGISTERED ARCHITECT

JAMES M. BAURICHTER STATE OF WASHINGTON

KCDEM TENANT IMPROVEMENT 8900 SW IMPERIAL WAY BREMERTON, WA 98312

BP 23-00525

REVISION SCHEDULE

DATE: JULY 7, 2023
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CHECKED: JMB

ARCHITECTURAL SLAB PLAN

A1.04

BAUARC

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522

9417 REGISTERED ARCHITECT

JAMES M. BAURICHTER STATE OF WASHINGTON

KCDEM TENANT IMPROVEMENT 8900 SW IMPERIAL WAY BREMERTON, WA 98312

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BID SET

DATE:
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CHECKED:
JULY 7, 2023
2021.03
JMB

A1.05

FLOOR PLAN

BID SET JULY 7, 2023 2021.03 JMB DATE: BA NO: CHECKED:

FLOOR PLAN DIMENSIONS / WALL
TYPES

A1.06

GENERAL DIMENSIONAL NOTES

1. FIELD VERIFY ALL DIMENSIONS AND NOIFY ANY INCONSISTENCIES TO ARCHITECT PRIOR TO CONSTRUCTION

2. SEE ARCHITECTURAL SLAB PLAN FOR ADDITIONAL DIMENSIONING

3. SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONING

4. EXTERIOR WALLS ARE DIMENSIONED FROM THE OUTSIDE OF STUD OR GIRT UNO

5. INTERIOR WALLS ARE DIMENSINOED TO THE CENTERLINE OF STUD UNO

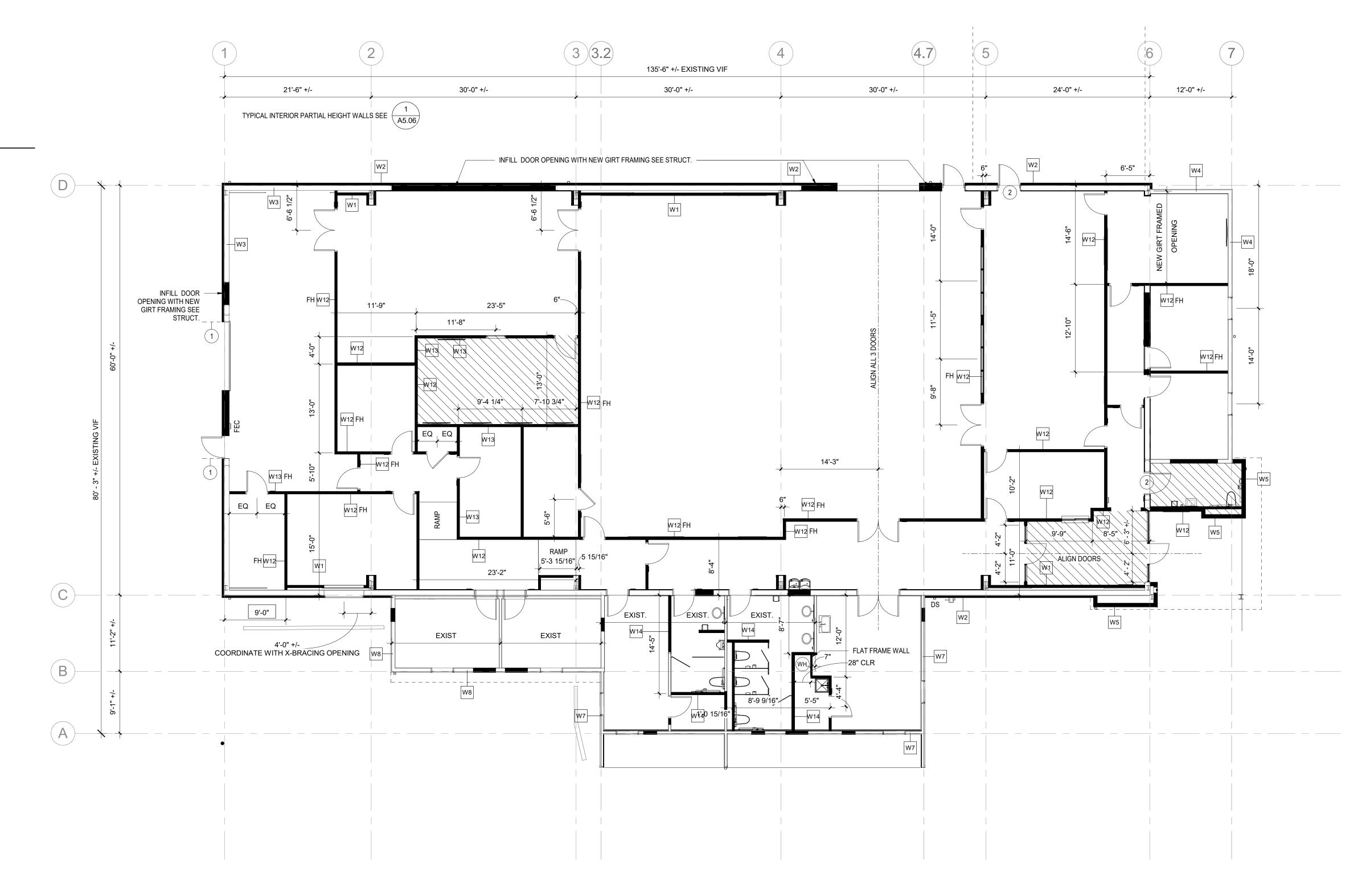
AREAS WITH NEW CEILING FRAMING ABOVE SEE SECTIONS FOR SUPPORTING WALL HEIGHTS. SEE STRUCT. FOR

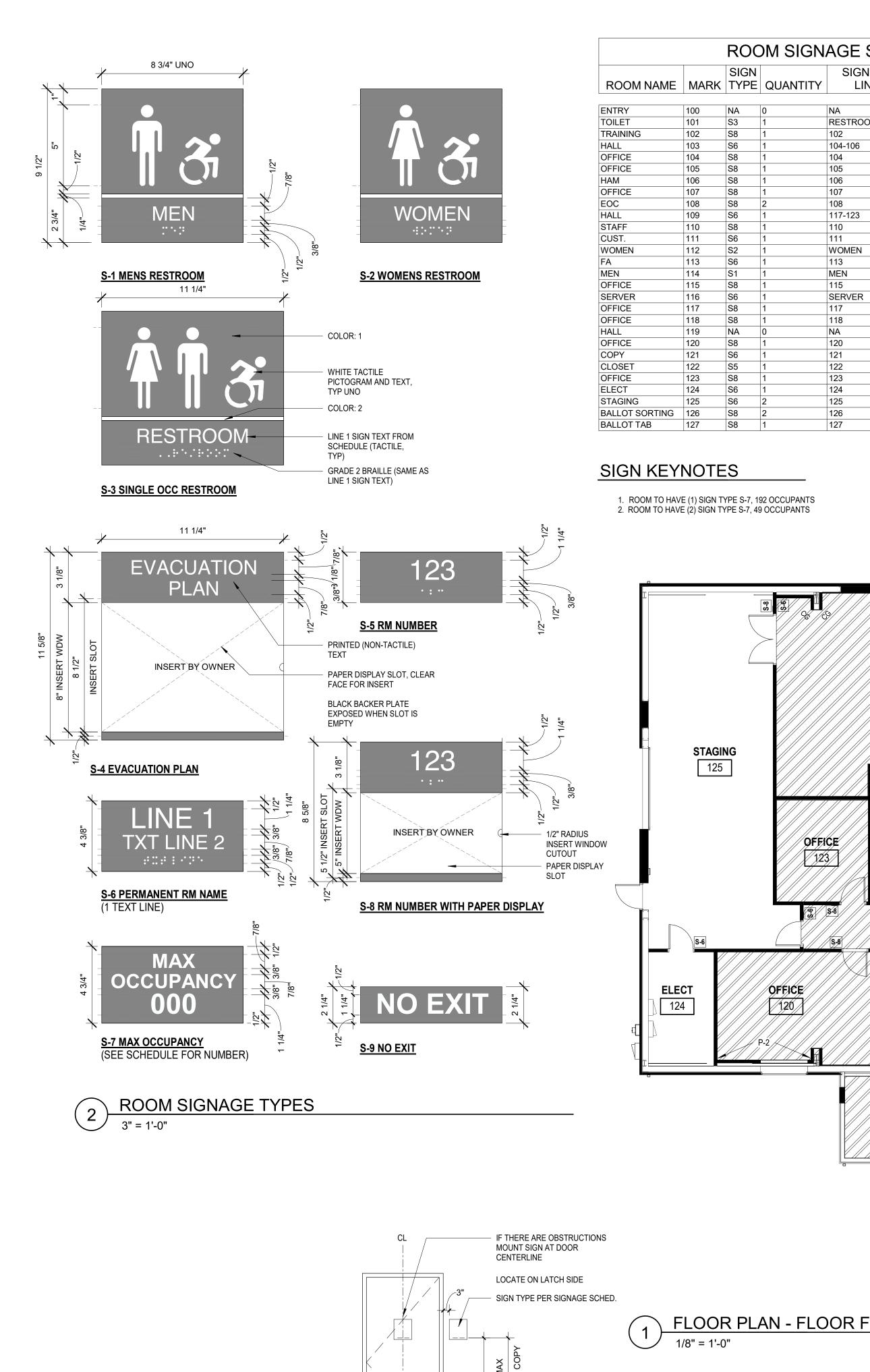
KEYED NOTES

ALIGN EDGE OF NEW DOOR WITH FRAMING OF EXISTING GARGE DOOR

2 NEW DOOR IN EXISTING FRAMED DOOR OPENING

2 DIMENSION PLAN NOTES
NTS





SIGN LOCATION



FLOOR FINISH NOTES / KEY

GENERAL FINISH NOTES

1. FLOORING TRANSITIONS SEE $\begin{pmatrix} 6 \\ A5.06 \end{pmatrix}$

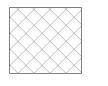
KEYED NOTES

င္ပါ CORNER GUARD

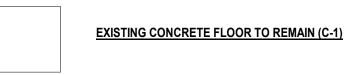
RAMP. APROXIMATELY 2.5" RISE VIF



CARPET 1 (CPT-1): 2' X 2' CARPET TILE



CARPET 3 (CPT-3): 2' X 2' CARPET TILE - WALK-OFF MAT



CARPET 2 (CPT-2): 2' X 2' CARPET TILE

POLISHED CONCRETE (C-2):

				FINISH	1 001		_	_		
ROOM INFORMATION					WA	LLS				
NUMBER	NAME	FLOOR	BASE	NORTH	EAST	SOUTH	WEST	CEILING	COMMENTS	
	I,,	1000					T	10	T	
100	ENTRY	CPT-1 / C-2	B-1					SEE RCP, TYP		
101	TOILET	C-2	B-1							
102	TRAINING	CPT-1	B-1							
103	HALL	CPT-1	B-1							
104	OFFICE	CPT-1	B-1							
105	OFFICE	CPT-1	B-1							
106	HAM	CPT-1	B-1							
107	OFFICE	CPT-1	B-1							
108	EOC	CPT-2	B-1						SEE INT. ELEV. FOR ACOUSTICA PANELS	
109	HALL	CPT-1 / C-2	B-1							
110	STAFF	C-2	B-1							
111	CUST.	C-2	B-1							
112	WOMEN	C-2	B-1							
113	FA	C-1	B-1							
114	MEN	C-2	B-1							
115	OFFICE	CPT-1	B-1							
116	SERVER	C-1	B-1							
117	OFFICE	CPT-1	B-1							
118	OFFICE	CPT-1	B-1							
119	HALL	CPT-1	B-1							
120	OFFICE	CPT-1	B-1							
121	COPY	CPT-1	B-1							
122	CLOSET	CPT-1	B-1							
123	OFFICE	CPT-1	B-1							
124	ELECT	C-1	B-1						NO BASE ON EXTERIOR WALLS	
125	STAGING	C-1	B-1						NO BASE ON EXTERIOR WALLS	
126	BALLOT SORTING	CPT-1	B-1							
127	BALLOT TAB	CPT-1	B-1							

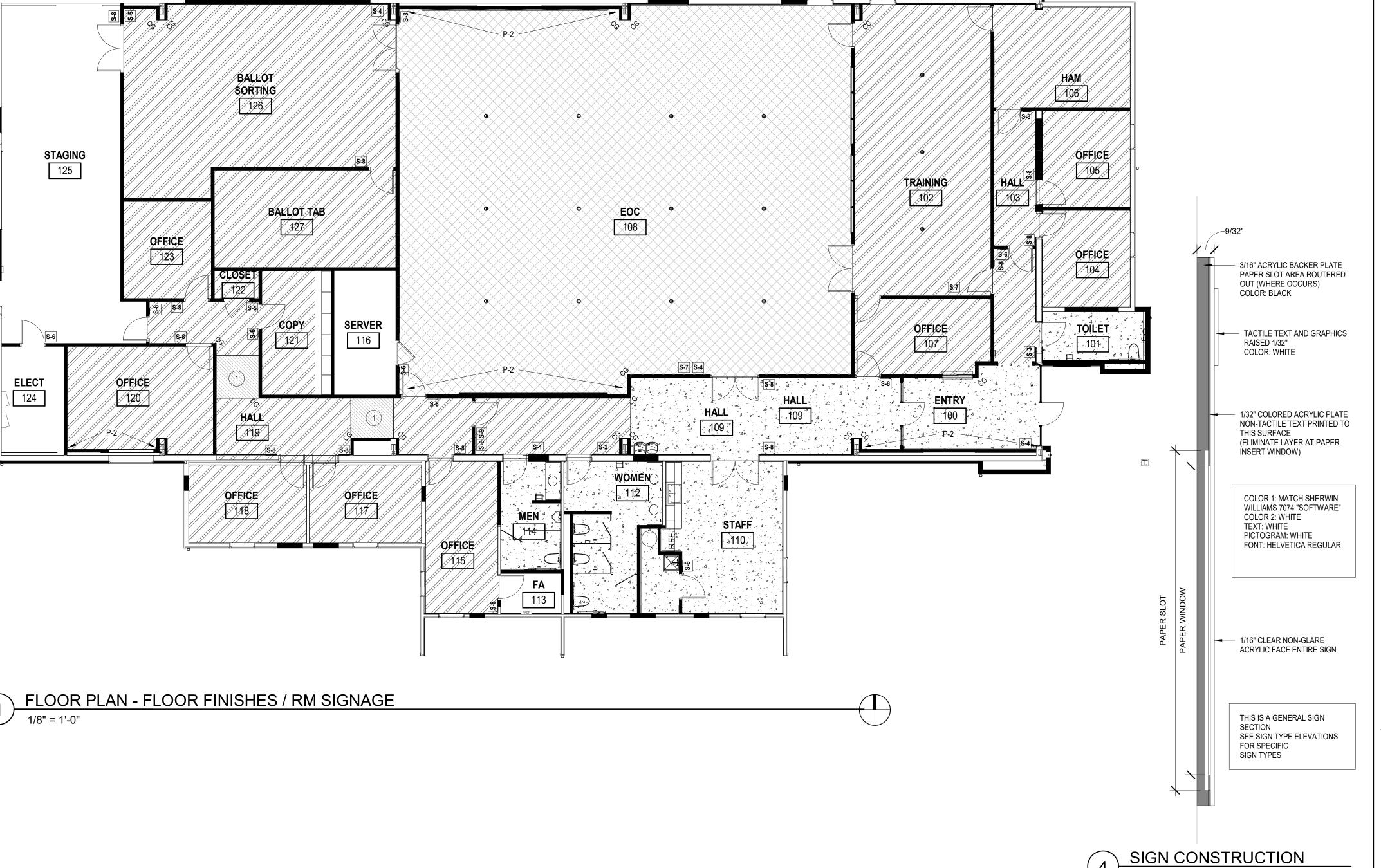
1. PAINT COLORS TO BE DETERMINED BY ARCHITECT DURING SUBMITTAL PROCESS A. ALL INTERIOR GWB WALLS PAINTED COLOR P-1 UNLESS NOTED AS P-2 ON FLOOR PLAN THIS SHEET

B. ALL GWB CEILINGS PAINTED P-1 C. EOC CEILING (ABOVE) CLOUDS PAINTED P-3

D. INTERIOR HM FRAMES AND MTL DOORS (WD DOORS ARE FACTORY FINISHED): P-4

F. EXTERIOR PAINTED STEEL: P-6

E. EXTERIOR HM DOORS AND FRAMES: P-5



BAU ARC

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522

ARCHITECTURE

REGISTERED ARCHITECT JAMES M. BAURICHTER STATE OF WASHINGTON

IMPROVEMENT

TENA 8900 SW IMPERIAL W BREMERTON, WA 98 KCDEM

BP 23-00525 REVISION SCHEDULE **BID SET** JULY 7, 2023 DATE: BA NO: 2021.03 CHECKED: JMB

FLOOR FINISH / RM SIGNAGE PLAN

B A U ARC

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522

9417 REGISTERED ARCHITECT

JAMES M. BAURICHTER STATE OF WASHINGTON

IMPROVEMENT

KCDEM TENANT I 8900 SW IMPERIAL WAY BREMERTON, WA 98312

BP 23-00525

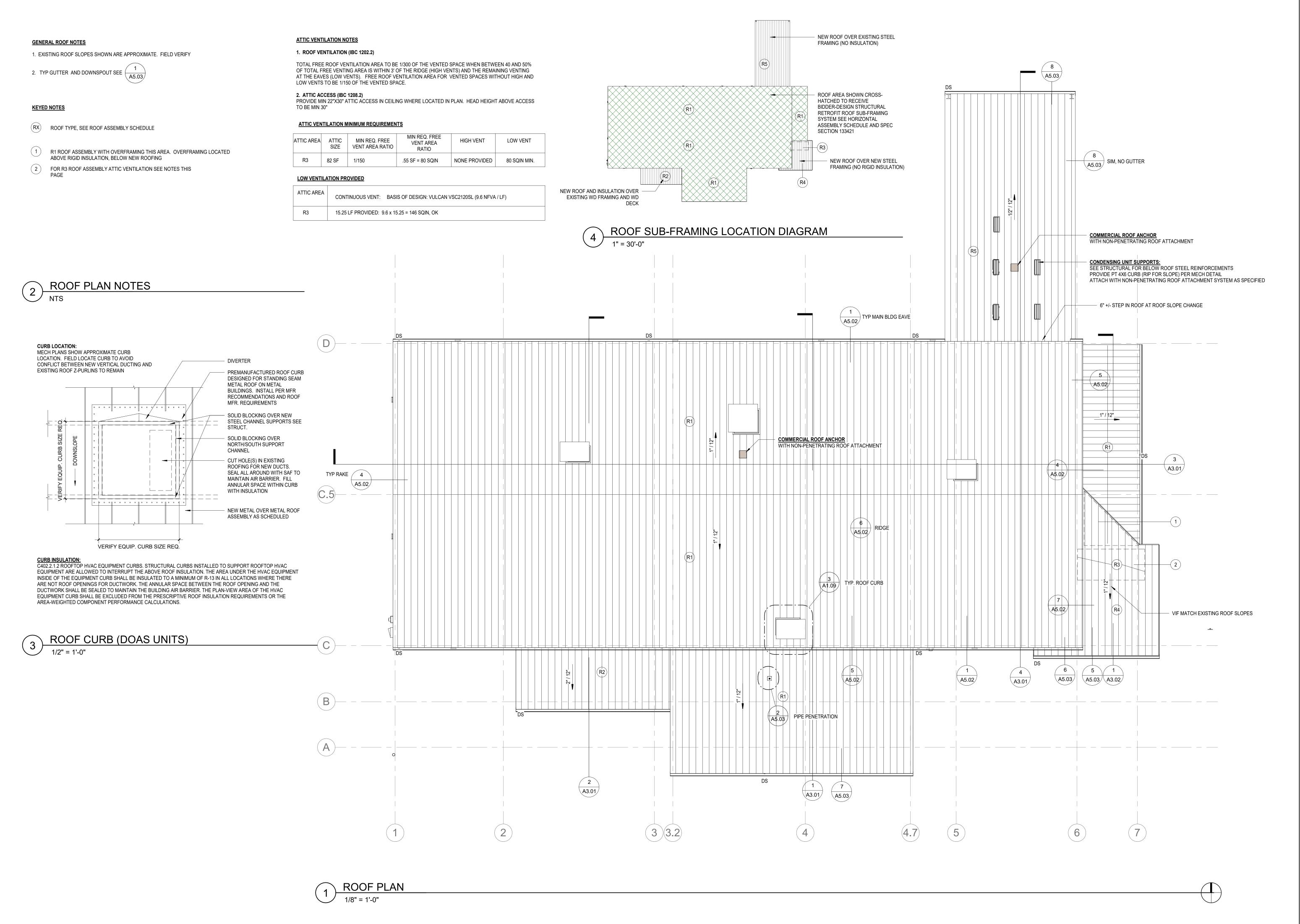
REVISION SCHEDULE

BID SET

DATE: JULY 7, 2023
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REFLECTED CEILING PLAN

A1.08



B A U ARC

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522

9417 REGISTERED ARCHITECT

JAMES M. BAURICHTER STATE OF WASHINGTON

KCDEM TENANT IMPROVEMENT 8900 SW IMPERIAL WAY BREMERTON, WA 98312

BP 23-00525

REVISION SCHEDULE

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CHECKED: JMB

ROOF PLAN

A1.09

GENERAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL NOT CONSIDER DEMOLITION NOTES TO BE ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSESS EACH AREA AND TO PERFORM THE DEMOLITION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION

2. FOR NEW OPENINGS IN EXISTING INTERIOR WALLS NOT SHOWN ON THESE ELEVATIONS SEE DEMO FLOOR PLAN FOR LOCATIONS

3. ELEVATIONS OF EXISTING GIRT LINES FOR THE MAIN PEMB BUILDING ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED.

KEYED NOTES

1 REMOVE EXTERIOR SIDING/ BATT INSULATION, SOFFIT, GUTTERS, METAL FACIAS, LOUVERS AND DOWNSPOUTS ENTIRE STRUCTURE

2 GARAGE DOOR (20' X 14' +/-) TO BE REMOVED

3 SLIDING BARN DOOR AND TRACK TO BE REMOVED

4 SWING DOOR TO BE REMOVED

5 REMOVE EXISTING WINDOW

6 DEMO / MODIFY FRAMING FOR NEW WINDOW

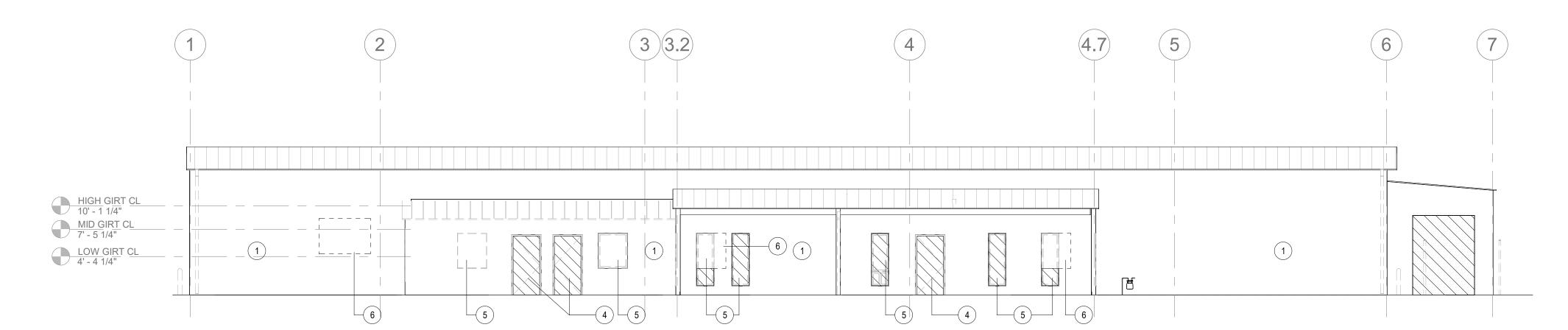
7 DEMO NEW OPENING IN WALL BEYOND (WALL ON GRIDLINE 6)

8 REMOVE EXISTING ROOFING AT THIS CANOPY ONLY

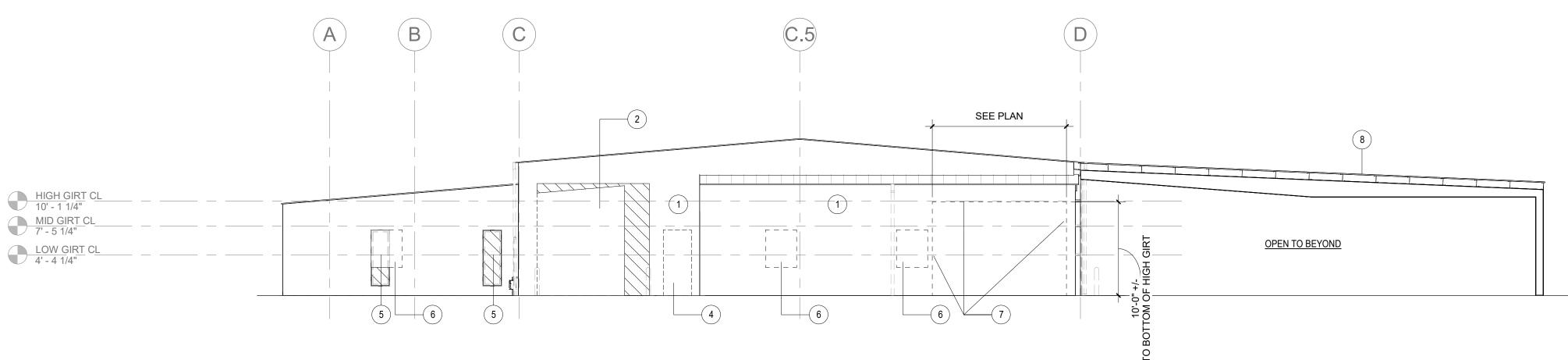


APPROXIMATE EXTENTS OF NEW FRAMED WALL INFILL. MATCH EXISTING ADJACENT FRAMING UNLESS NOTED OR SCHEDULED OTHERWISE

5 DEMOLITION ELEVATION NOTES / KEY

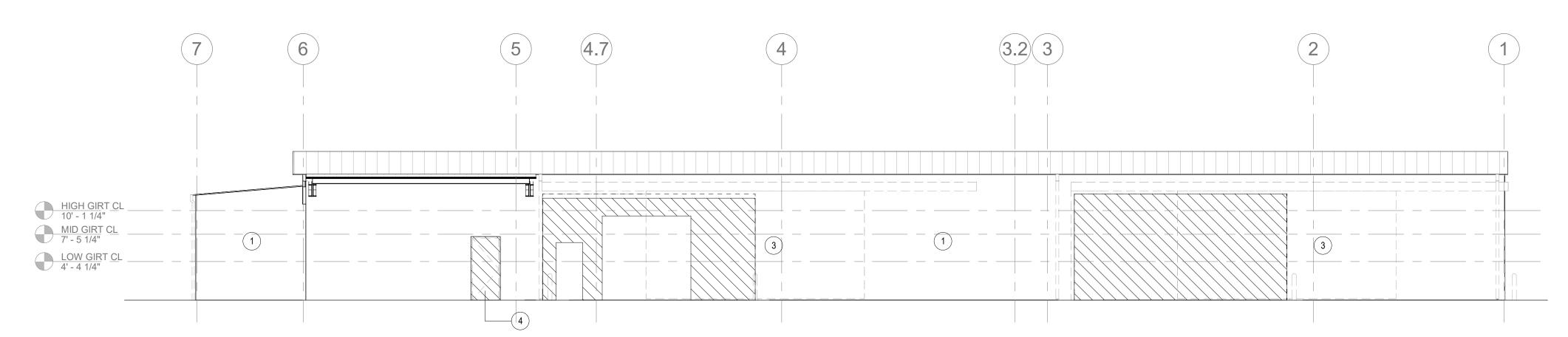




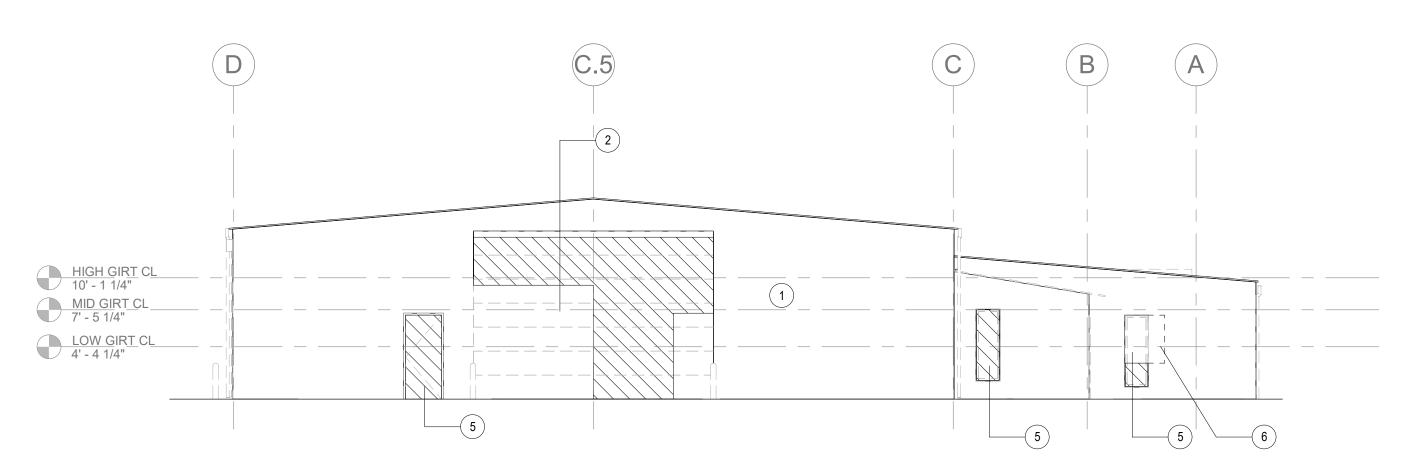


BUILDING DEMO / INFILL FRAMING ELEVATION - EAST

1/8" = 1'-0"



BUILDING DEMO / INFILL FRAMING ELEVATION - NORTH



4 BUILDING DEMO / INFILL FRAMING ELEVATION - WEST

BAUARC

1230 BAY STREET PORT ORCHARD, WA 98366

206 406 0522

9417 REGISTERED ARCHITECT

JAMES M. BAURICHTER STATE OF WASHINGTON

KCDEM TENANT IMPROVEMENT 8900 SW IMPERIAL WAY BREMERTON, WA 98312

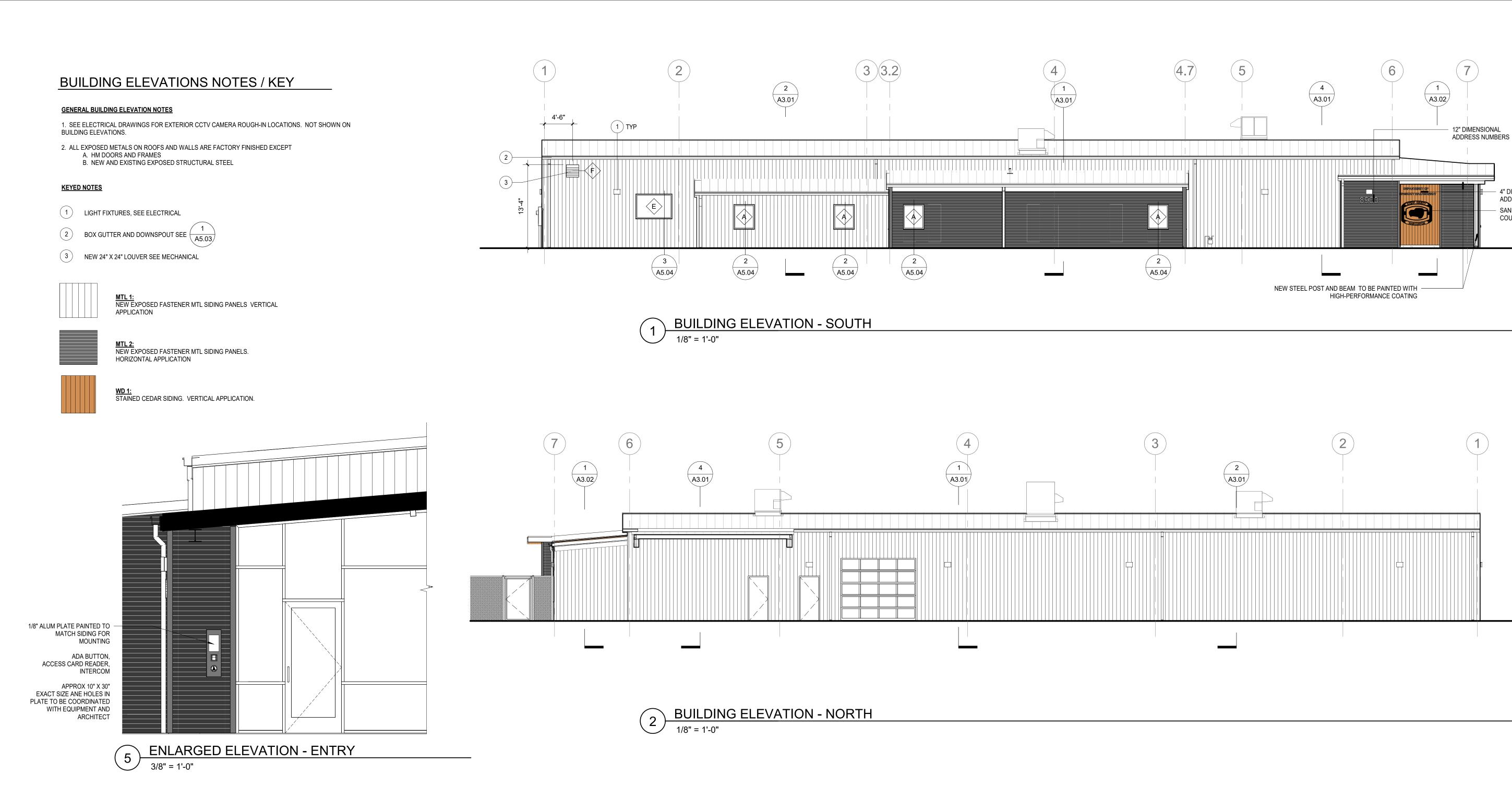
BP 23-00525

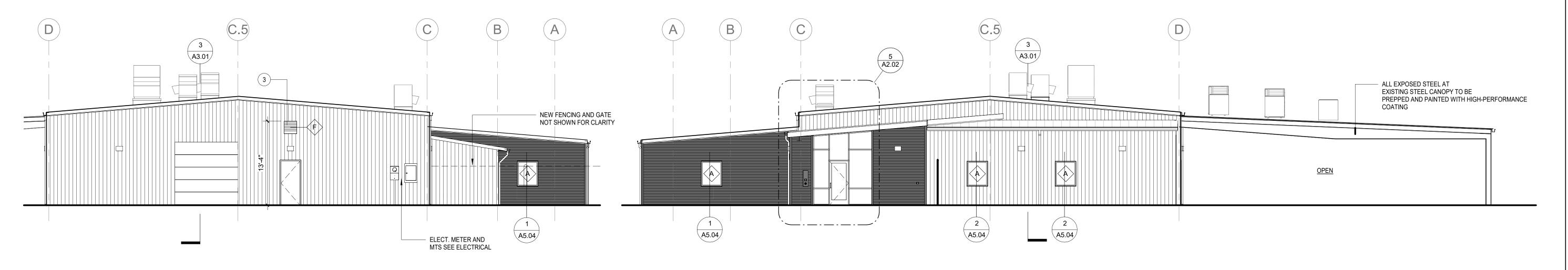
REVISION SCHEDULE

DATE: JULY 7, 2023
BA NO: 2021.03
CHECKED: JMB

BLDG ELEV. DEMO / WALL INFILL

A2.01









BAUARC ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522

- 4" DIMENSIONAL ADDRESS NUMBERS

- SANDBLASTED WD -COUNTY LOGO SIGN

> ARCHITECT JAMES M. BAURICHTER STATE OF WASHINGTON

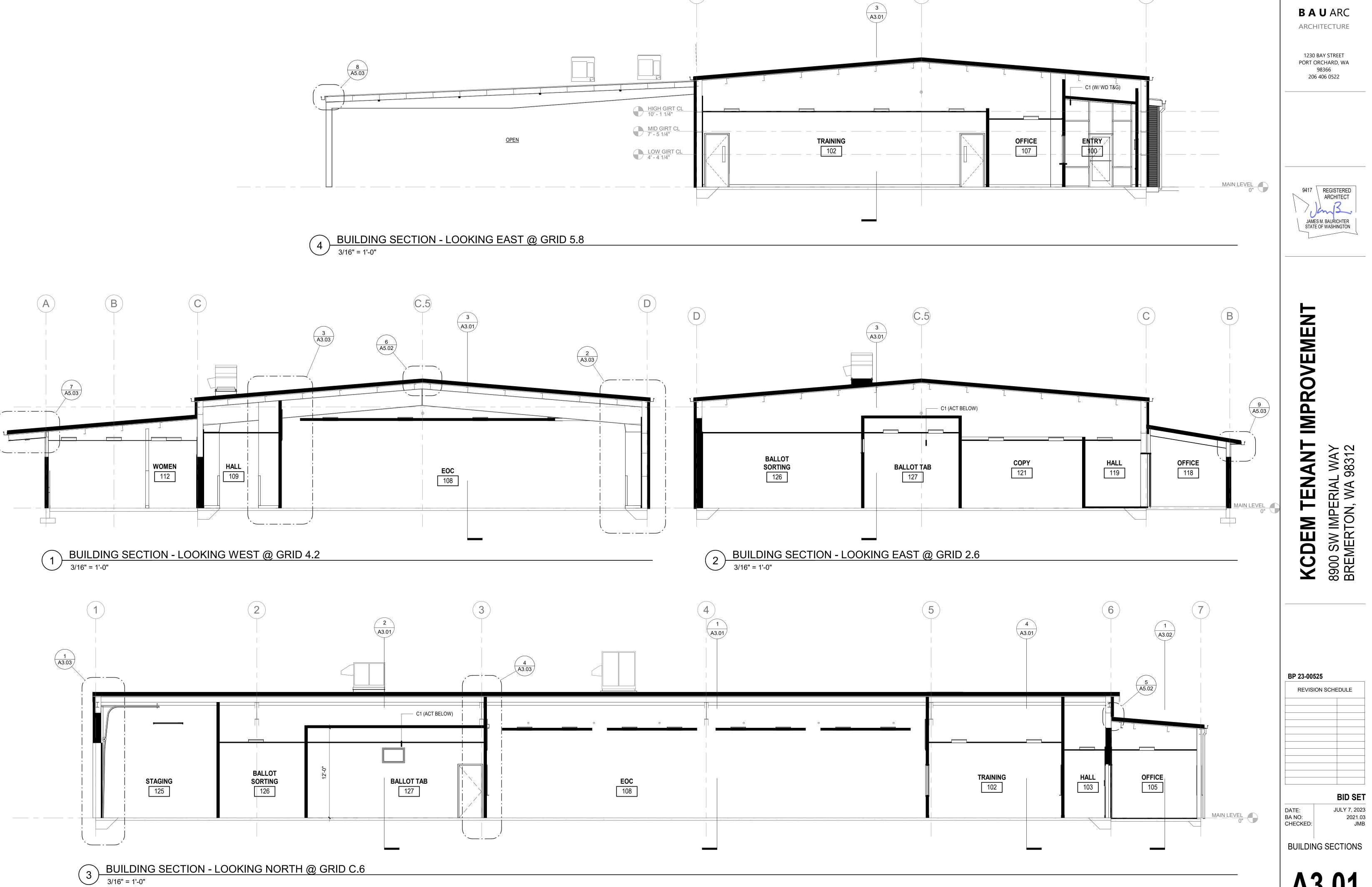
ANT IMPROVEMENT
WAY
8312 8900 SW IMPERIAL WA BREMERTON, WA 983

KCDEM

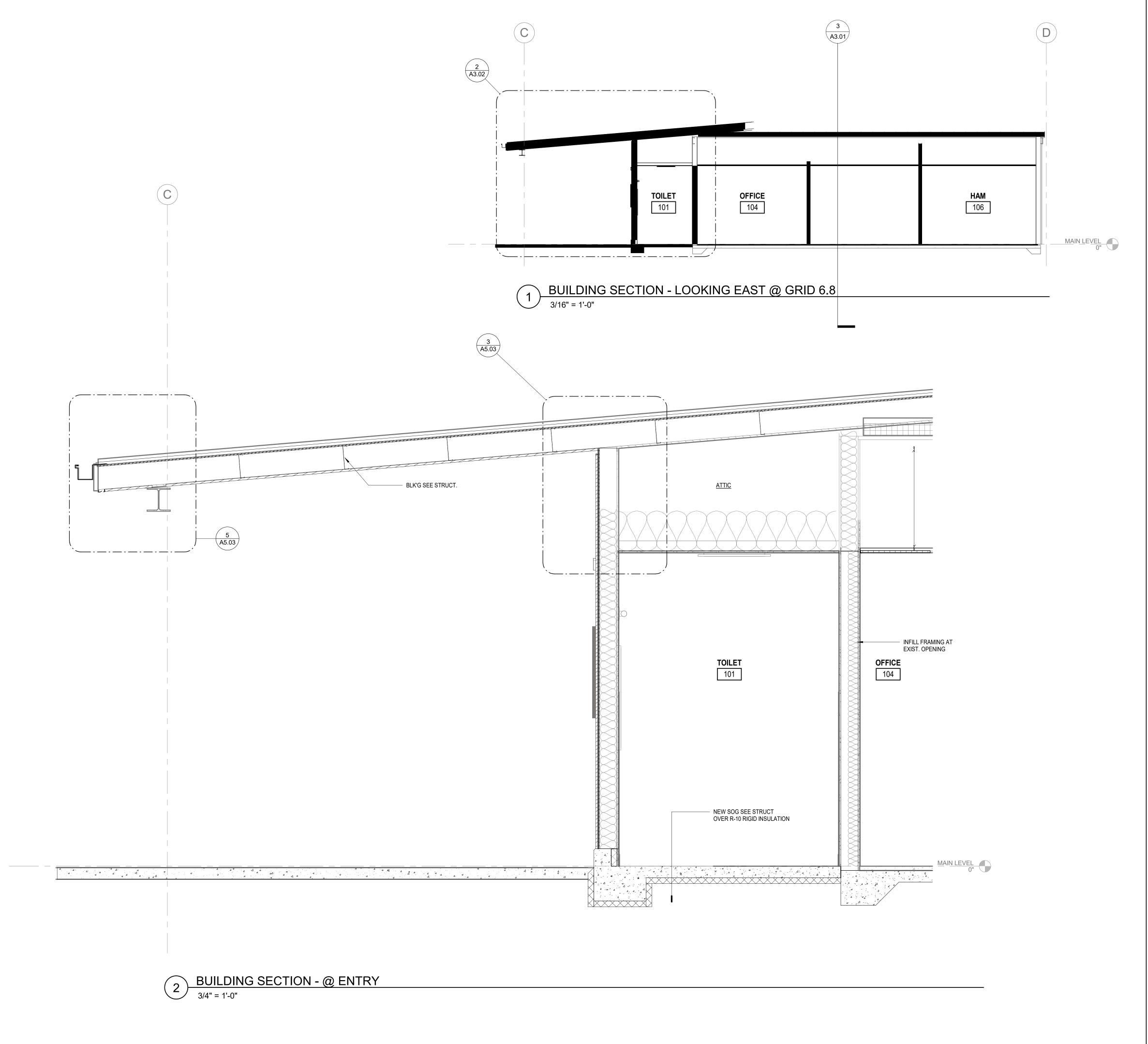
BP 23-00525 REVISION SCHEDULE

BID SET JULY 7, 2023 2021.03 JMB BA NO: CHECKED:

BUILDING ELEVATIONS



A3.01



BAUARC ARCHITECTURE

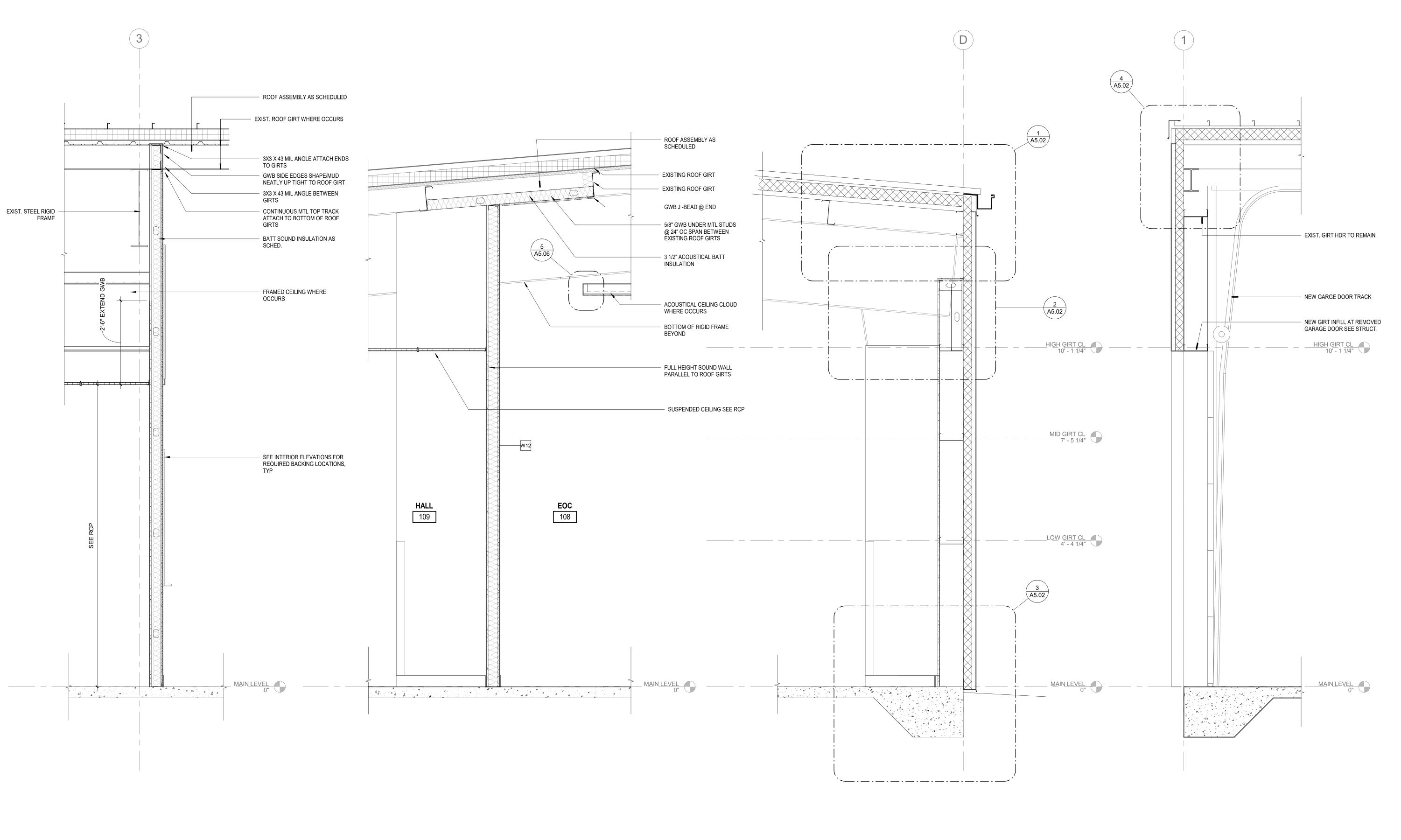
1230 BAY STREET PORT ORCHARD, WA 206 406 0522

KCDEM TENANT IMPROVEMENT 8900 SW IMPERIAL WAY BREMERTON, WA 98312

BP 23-00525 REVISION SCHEDULE

BID SET JULY 7, 2023 BA NO: CHECKED:

BUILDING / WALL SECTIONS



REWERIAL SECTIONS

REVISION SCHEDULE

BID SET

DATE:
D

BAUARC

ARCHITECTURE

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REGISTERED

JAMES M. BAURICHTER STATE OF WASHINGTON

NT IMPROVEMENT

ARCHITECT

WALL SECT - FULL HT WALL PERP. TO ROOF GIRTS

3/4" = 1'-0"

WALL SECT - FULL HT WALL PARALLEL TO ROOF GIRTS

3/4" = 1'-0"

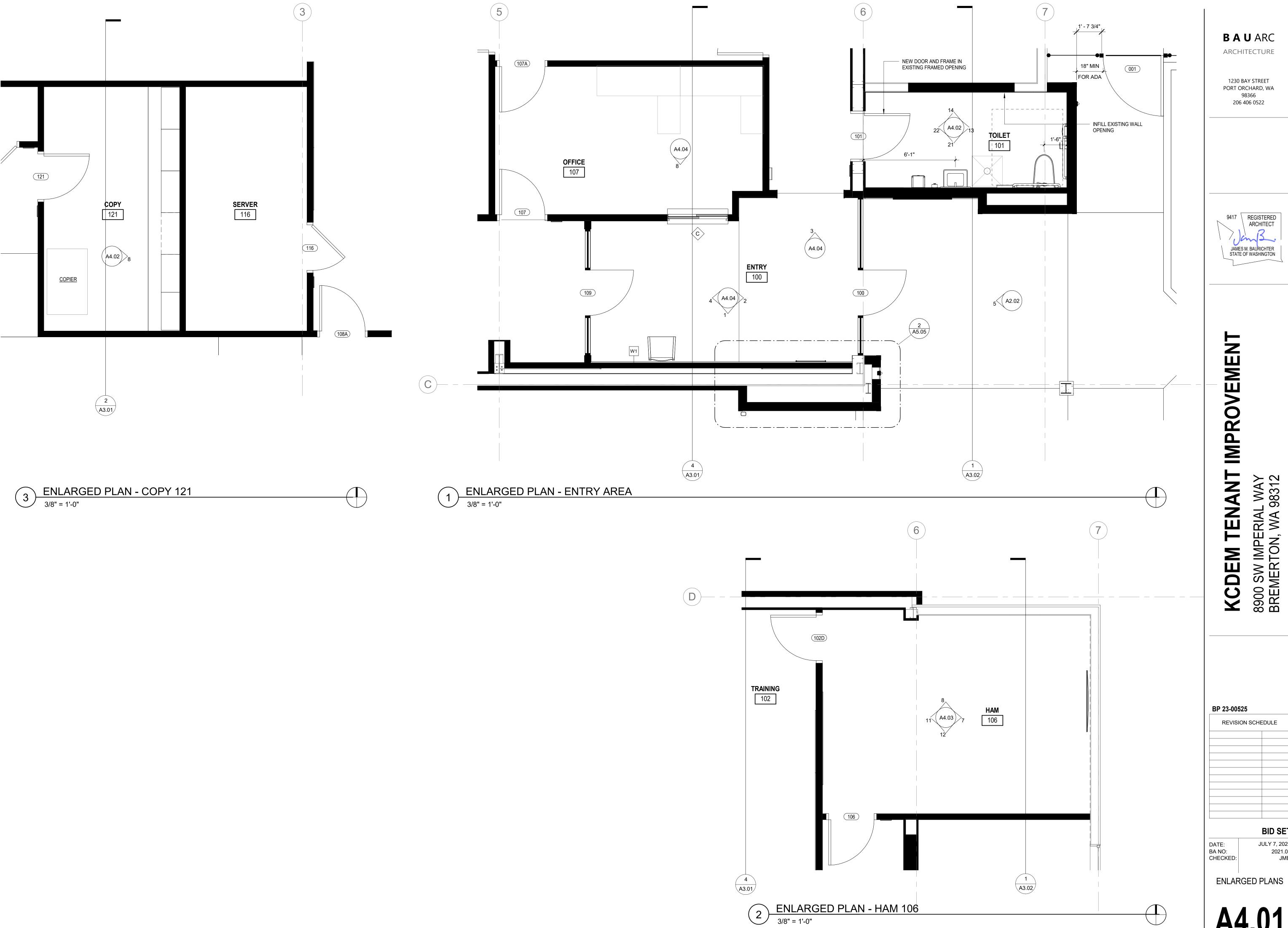
WALL SECT - GRID D LOOKING WEST

3/4" = 1'-0"

WALL SECT - GRID 1

3/4" = 1'-0"

A3.03

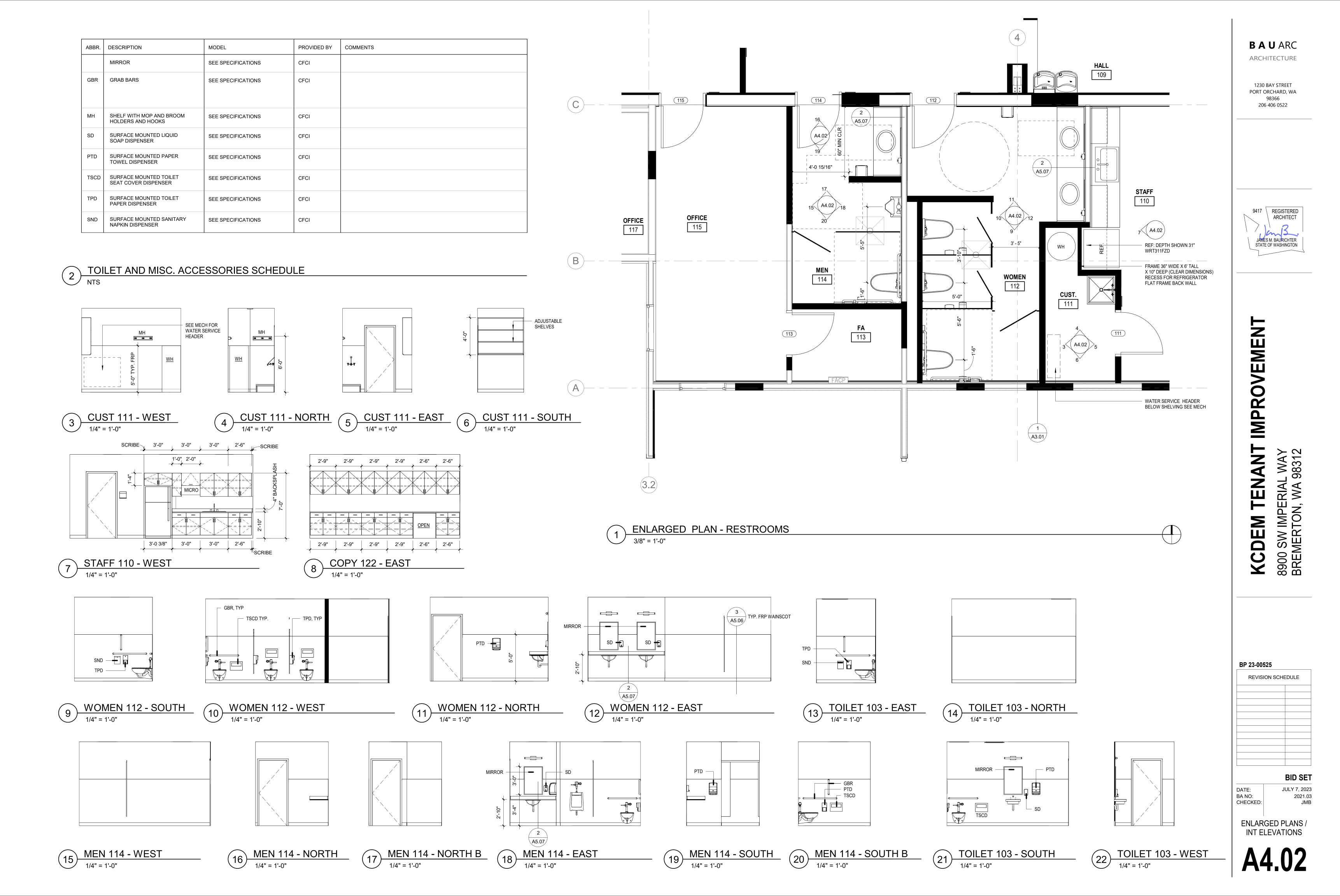


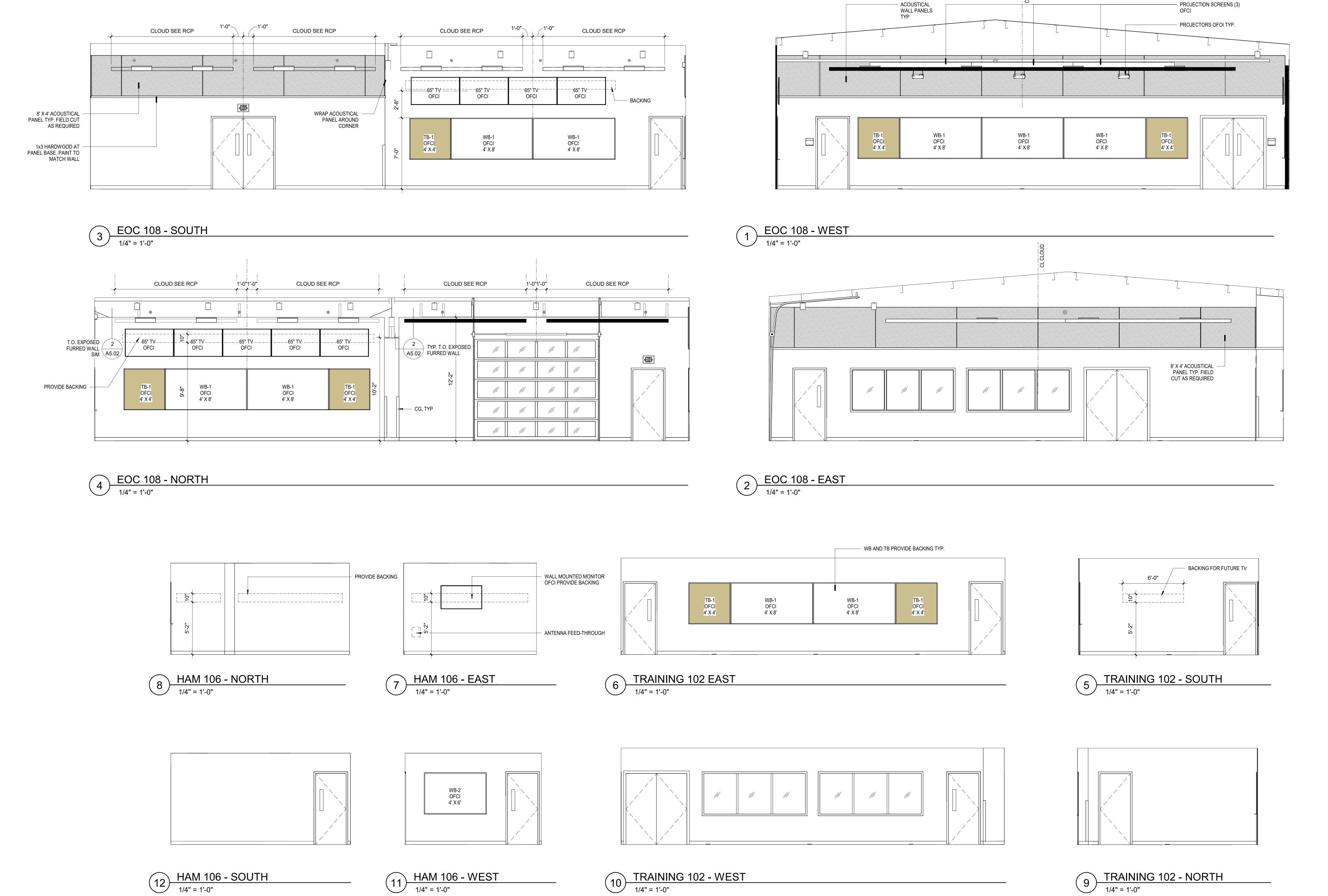
ARCHITECTURE

206 406 0522

JAMES M. BAURICHTER STATE OF WASHINGTON

REVISION SCHEDULE **BID SET** JULY 7, 2023 2021.03 JMB





BAUARC ARCHITECTURE

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NT IMPROVEMENT

KCDEM TENANT 8900 SW IMPERIAL WAY BREMERTON, WA 98312

BP 23-00525 REVISION SCHEDULE

BID SET JULY 7, 2023 2021.03 JMB BA NO: CHECKED:

INTERIOR ELEVATIONS



KCDEM TENANT IMPROVEMENT 8900 SW IMPERIAL WAY BREMERTON, WA 98312

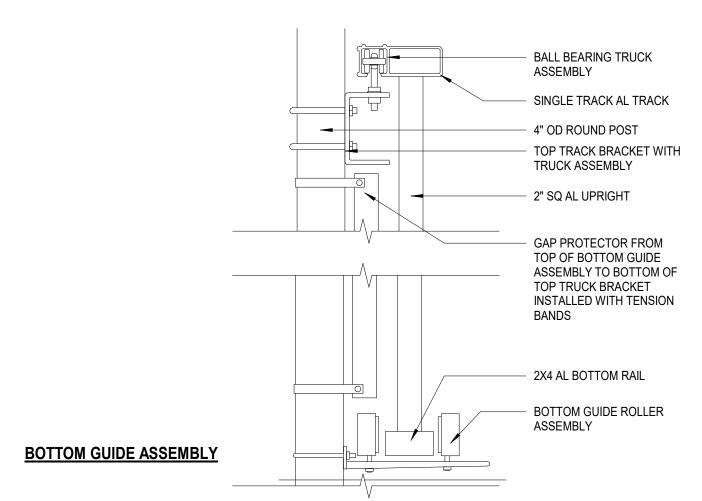
98366

206 406 0522

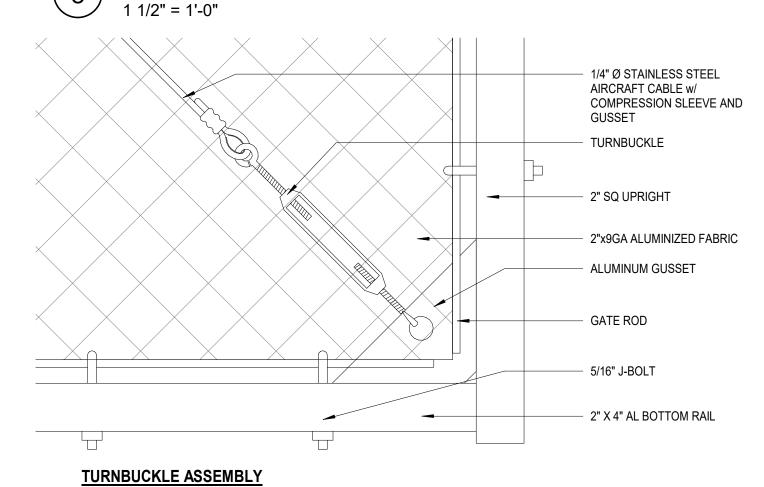
REGISTERED ARCHITECT

BP 23-00525 REVISION SCHEDULE **BID SET** JULY 7, 2023 2021.03 JMB BA NO: CHECKED:

INTERIOR ELEVATIONS



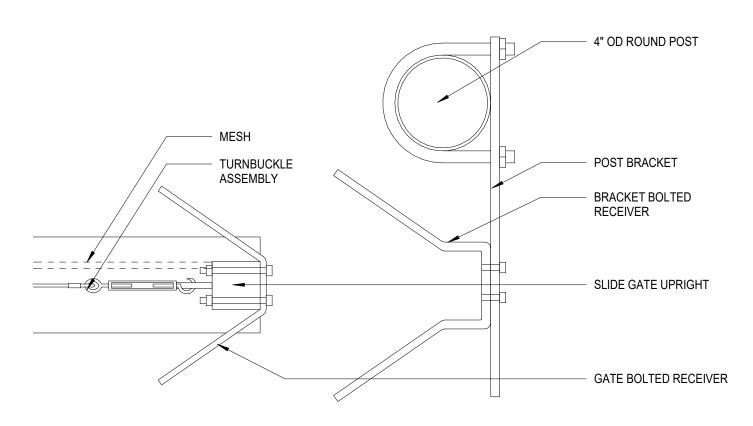
SLIDE GATE - BOTTOM GUIDE ASSEMBLY



SLIDE GATE - TURNBUCKLE ASSEMBLY

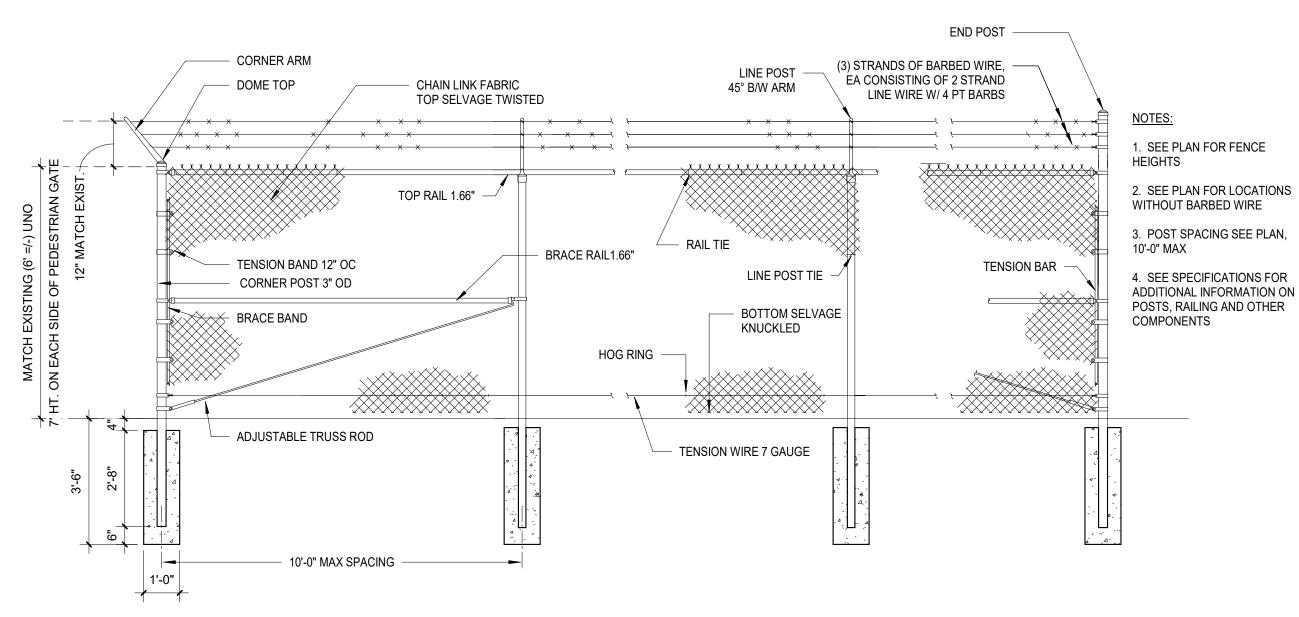
BALL BEARING TRUCK ASSEMBLY TOP TRUCK BRACKET 4" OD ROUND POST TOP TRUCK ASSEMBLY

SLIDE GATE - TRUCK ASSEMBLY



LATCH ASSEMBLY

SLIDE GATE - LATCH ASSEMBLY



CHAINLINK FENCE (TYPICAL)

GATE OPERATOR ENTRANCE CONTROL:

1. CARD READER / KEYPAD

2. OPTICOM IR EMERGENCY VEHICLE DETECTOR

CLOSER

3" PRESSED STEEL

5/16" GALV. GATE

INSIDE GATE LOOKING SOUTH

6" 6"

HINGES

— 2" STEEL SQ CAP

--- 3" STEEL FRAME

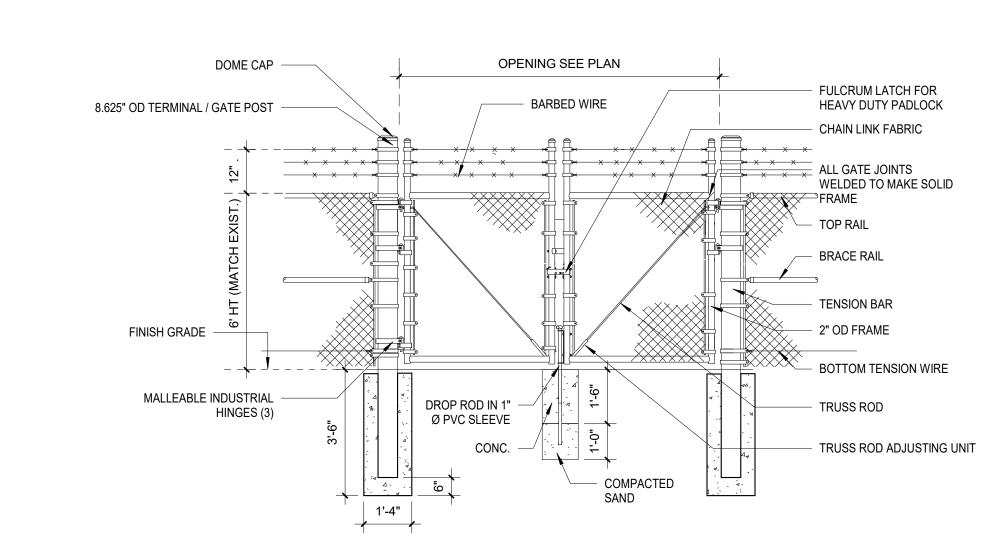
— 2" STEEL FRAME

LOCKSET AS SCHEDULED

- 1" SQ. BRACE RAIL 16GA

— 2" FABRIC

PLATE



CHAIN LINK FENCE - PRE-HUNG PEDESTRIAN GATE

4' - 0"

FACE OF BUILDING

GATE PLAN VIEW

STOP PLATE -

OUTSIDE GATE LOOKING NORTH

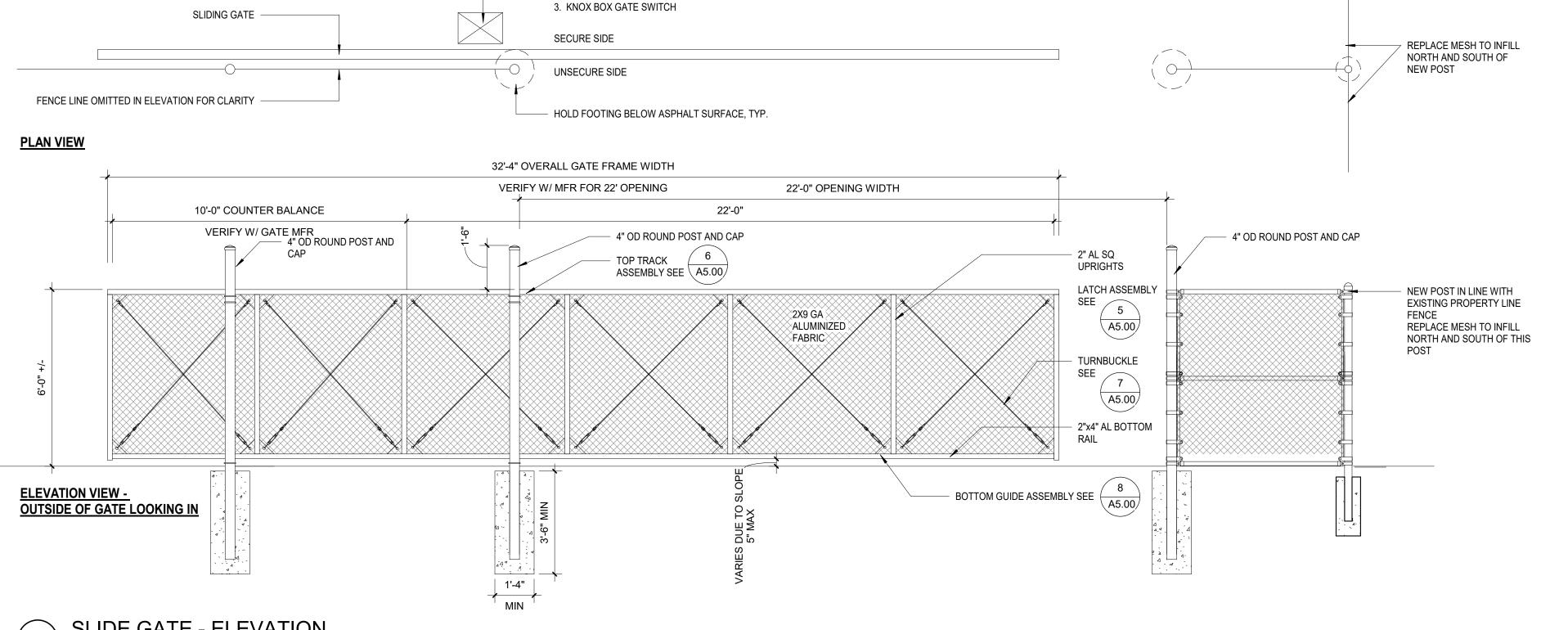
ELECTROMAGNETIC LOCK

LOCK TO BE UNLOCKED VIA WALL

MOUNTED KEY CARD INPUT AND

MECHANICAL KEY OVERRIDE

CHAINLINK FENCE - VEHICLE GATE



SLIDE GATE - ELEVATION

SITE DETAILS

BAU ARC

ARCHITECTURE

1230 BAY STREET

PORT ORCHARD, WA

98366 206 406 0522

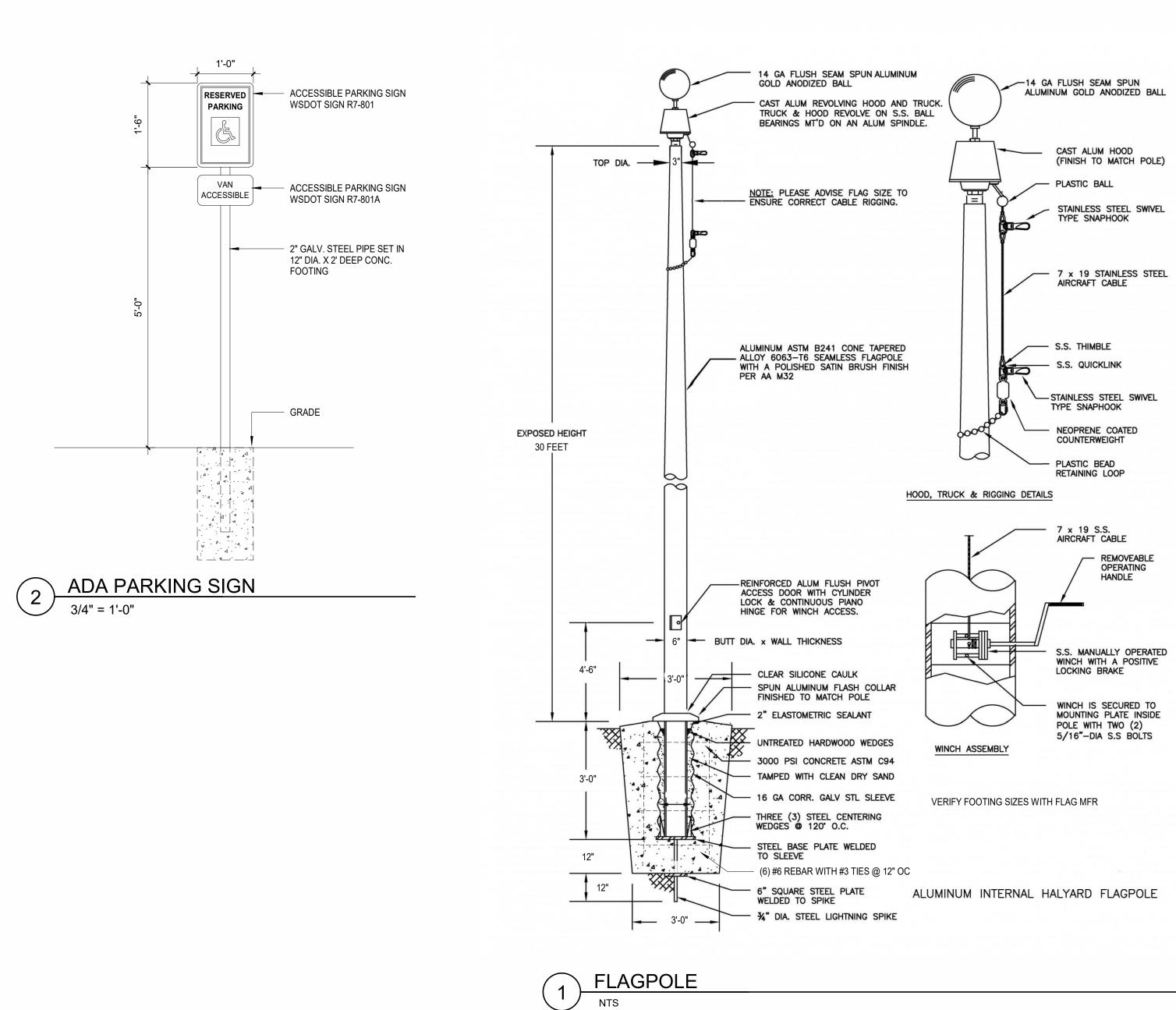
REGISTERED ARCHITECT JAMES M. BAURICHTER STATE OF WASHINGTON

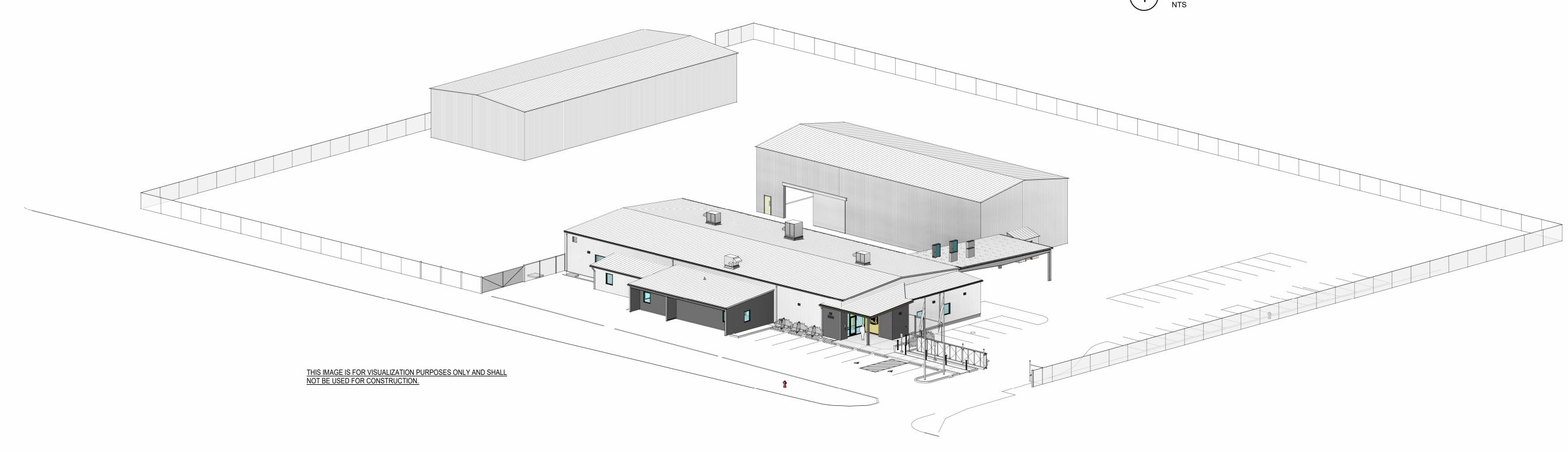
IMPROVEMENT 8900 SW IMPEF BREMERTON, \ KCDEM

BP 23-00525

REVISION SCHEDULE

BID SET JULY 7, 2023 DATE: BA NO: 2021.03 CHECKED:





BAUARC

ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522

9417 REGISTERED ARCHITECT JAMES M. BAURICHTER STATE OF WASHINGTON

IMPROVEMENT 8900 SW IMPERIAL W BREMERTON, WA 98

BP 23-00525

KCDEM

REVISION SCHEDULE

BID SET JULY 7, 2023 2021.03 JMB DATE: BA NO: CHECKED:

SITE DETAILS

A5.01

WALL ASSEMBLY AS -SCHEDULED

- HORIZ. ASSEMBLY AS SCHEDULED

DETAIL - ROOF @ RAKEWALL

1 1/2" = 1'-0"

NEW GIRTS SLOPE WITH -

CANOPY ROOF

- WALL PANEL

SSR RAKEWALL

SSR RAKE CLEAT

- FLOATING RAKE ZEE

- ROOF FRAMING SEE

STRUCT

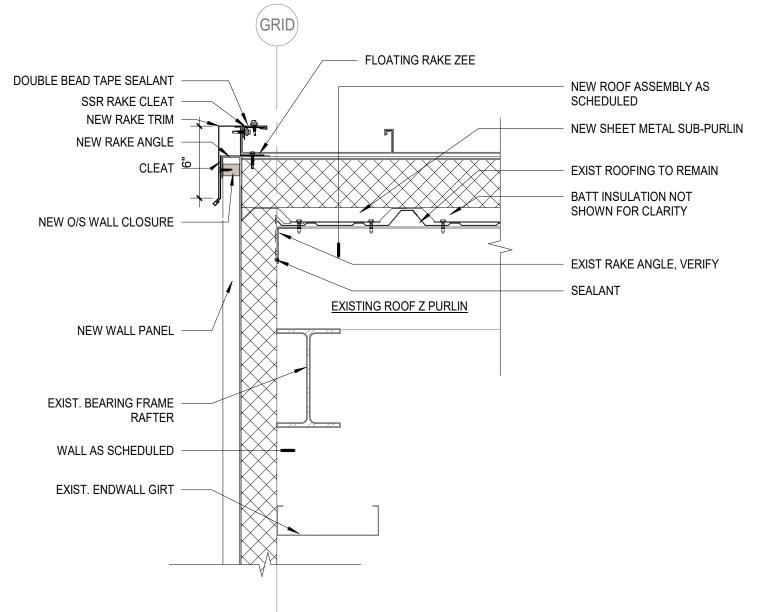
SEALANT

HORIZ. ASSEMBLY

AS SCHEDULED

WALL PANEL CLOSURE

DOUBLE BEAD TAPE SEALANT



4 DETAIL - TYP. ROOF @ RAKE / ENDWALL
1 1/2" = 1'-0"

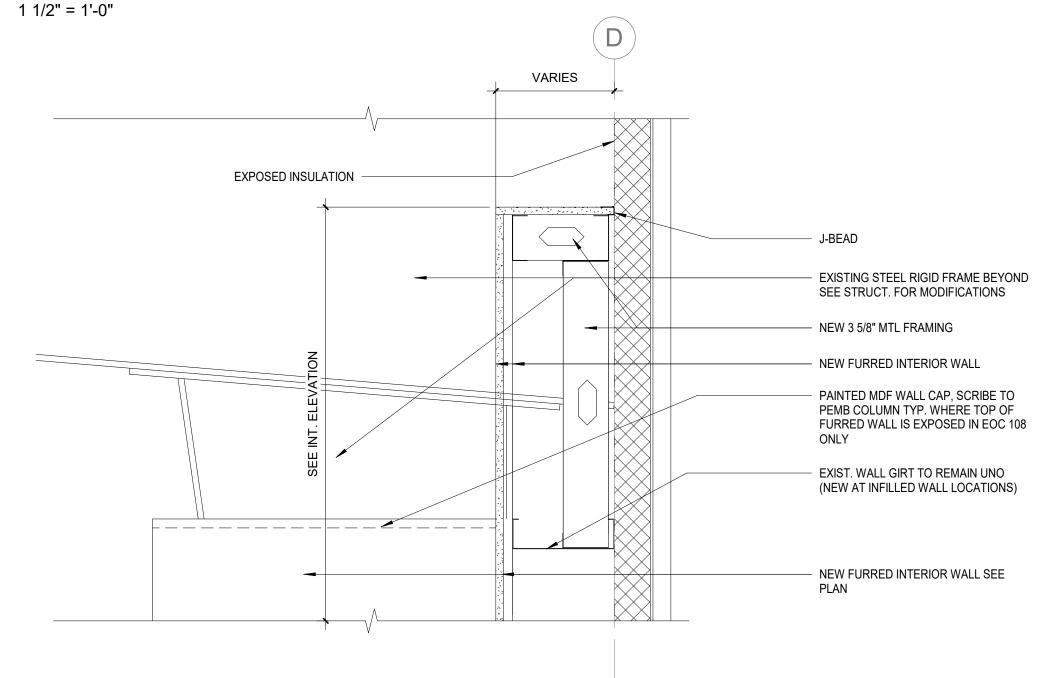
WALL ASSEMBLY AS SCHEDULED
PANEL CLOSURE
SSR PITCH BREAK
DOUBLE BEAD TAPE SEALANT
ROOF PANEL MFR. END DAM
BACK-UP CHANNEL (NOTCH
INSULATION AS REQ.
CLIP
SUB-PURLIN
EXIST ROOF PANEL

NEW OR EXIST ROOF
PURLIN
HORIZ. ASSEMBLY AS
SCHEDULED

5 DETAIL - TYP. ROOF @ END WALL
1 1/2" = 1'-0"

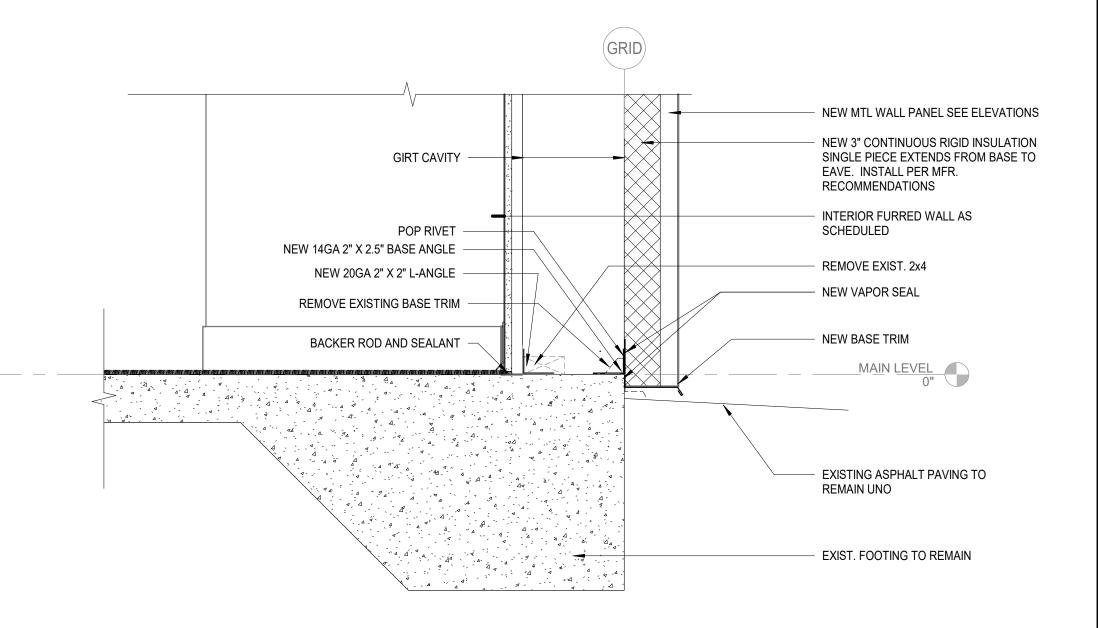
NEW SSR PANEL NEW SELF-ADHERING WRB NEW BATT INSULATION IN EXIST. ROOF - NEW 5 1/2" ROOF HUGGER NEW SHEET METAL SUB-PURLIN - EXISTING ROOF PURLIN GUTTER STRAP @ 24" OC POP RIVET EACH LOCATION NEW EAVE TRIM - NEW 24 GA BOX GUTTER SEE (A5.03) NEW 4" RIGID INSULATION PANELS SELF-ADHERING WRB CLOSURE STRIP TO MATCH WALL PROFILE NEW SELF ADHERING UNDERLAYMENT OVER ENTIRE EXISTING ROOF CUT BACK EXISTING ROOF TO FACE OF ACTS AS AIR BARRIER EAVE STRUT - EXIST. EAVE STRUT TO REMAIN EXISTING PBR METAL ROOFING TO NEW MTL WALL PANEL REMAIN UNO. BOTTOM SIDE EXPOSED (PAINTED IN EOC ROOM ONLY) NEW CONTINUOUS RIGID INSULATION W/ LAMINATED POLYPROPYLENE SEALANT SCRIM BOTH SIDES & TAPED EDGES EXPOSED INSULATION (ACTS AS AIR / VAPOR BARRIER @ PEMB WALLS)

DETAIL - TYP. EAVE @ MAIN STRUCTURE



DETAIL - EOC 108 T.O. CHANNEL FURRED WALL

1 1/2" = 1'-0"



3 DETAIL - TYP. WALL @ BASE 1 1/2" = 1'-0"

BAUARC

1230 BAY STREET

PORT ORCHARD, WA

98366

206 406 0522

9417 REGISTERED ARCHITECT

JAMES M. BAURICHTER STATE OF WASHINGTON

KCDEM TENANT IMPROVEMENT 8900 SW IMPERIAL WAY BREMERTON, WA 98312

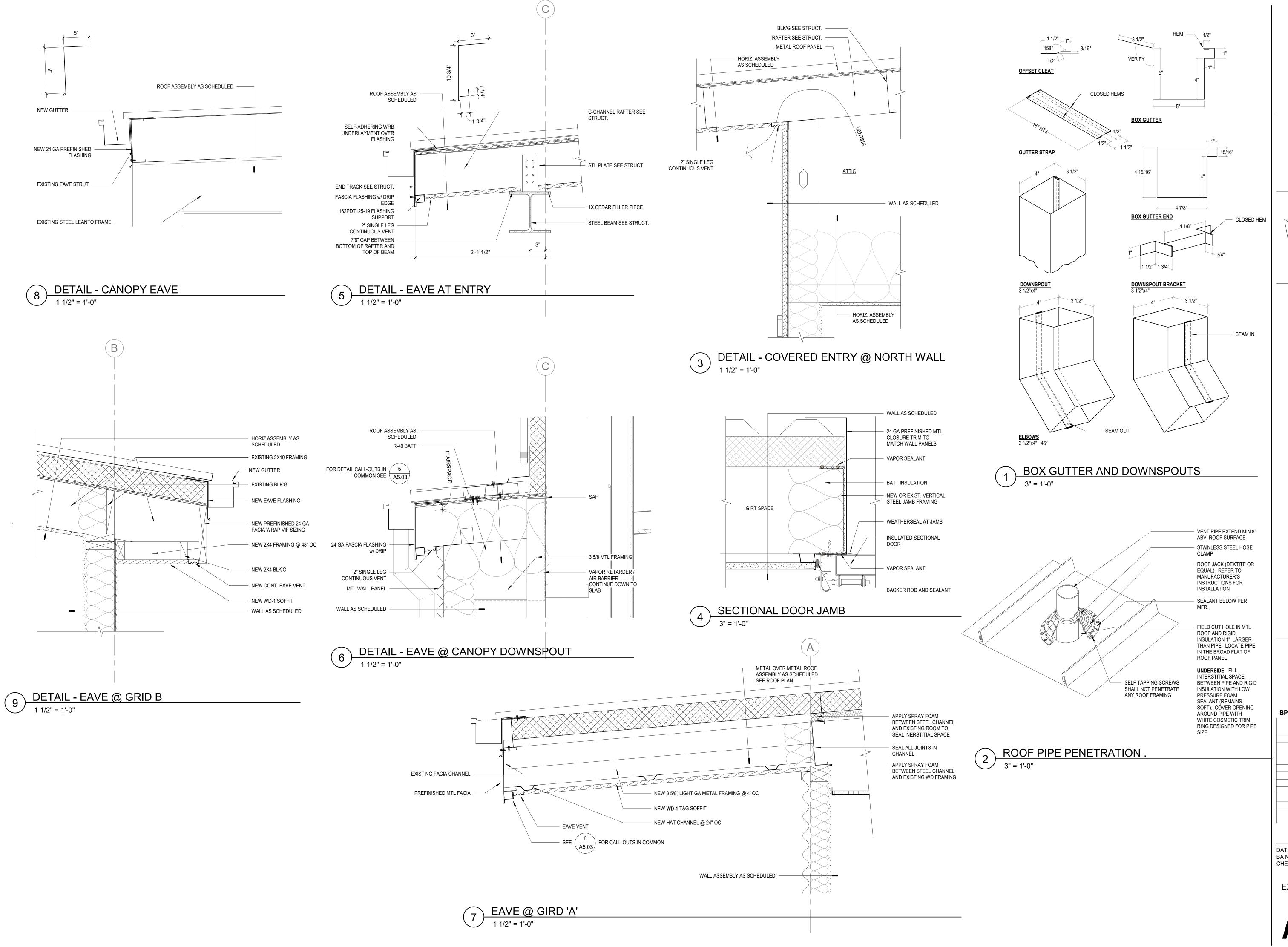
BP 23-00525

REVISION SCHEDULE

DATE: JULY 7, 2023
BA NO: 2021.03
CHECKED: JMB

EXTERIOR DETAILS

A5.02



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1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522

9417 REGISTERED ARCHITECT

JAMES M. BAURICHTER STATE OF WASHINGTON

KCDEM TENANT IMPROVEMENT 8900 SW IMPERIAL WAY BREMERTON, WA 98312

BP 23-00525

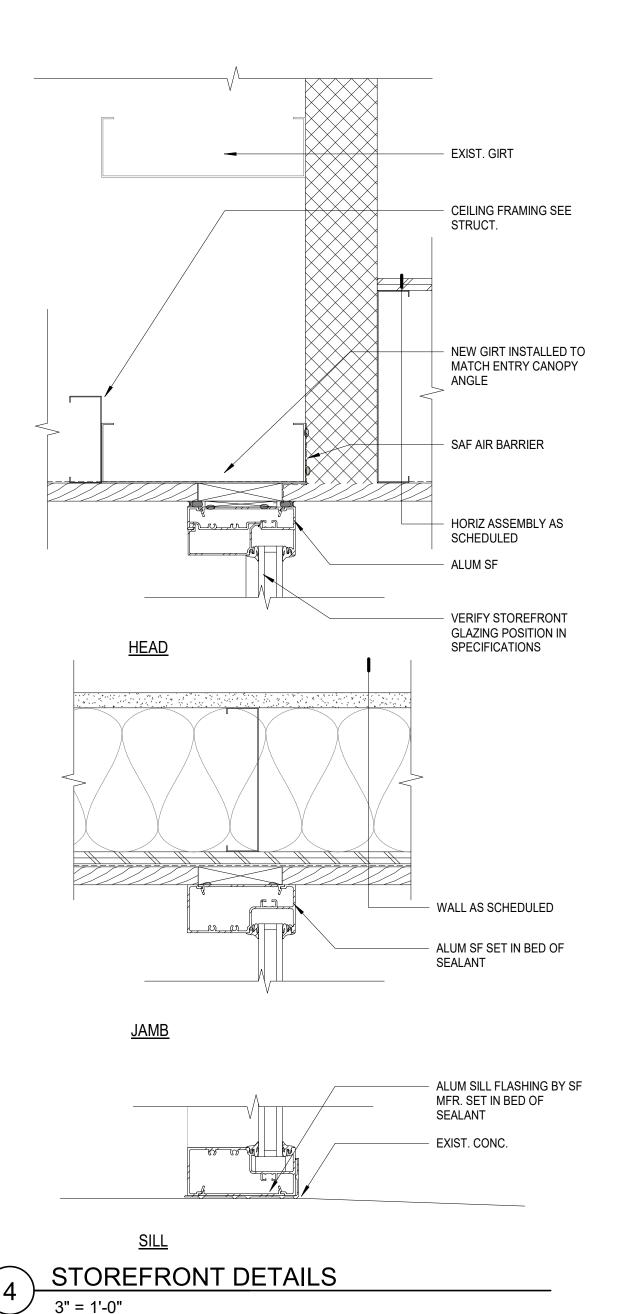
REVISION SCHEDULE

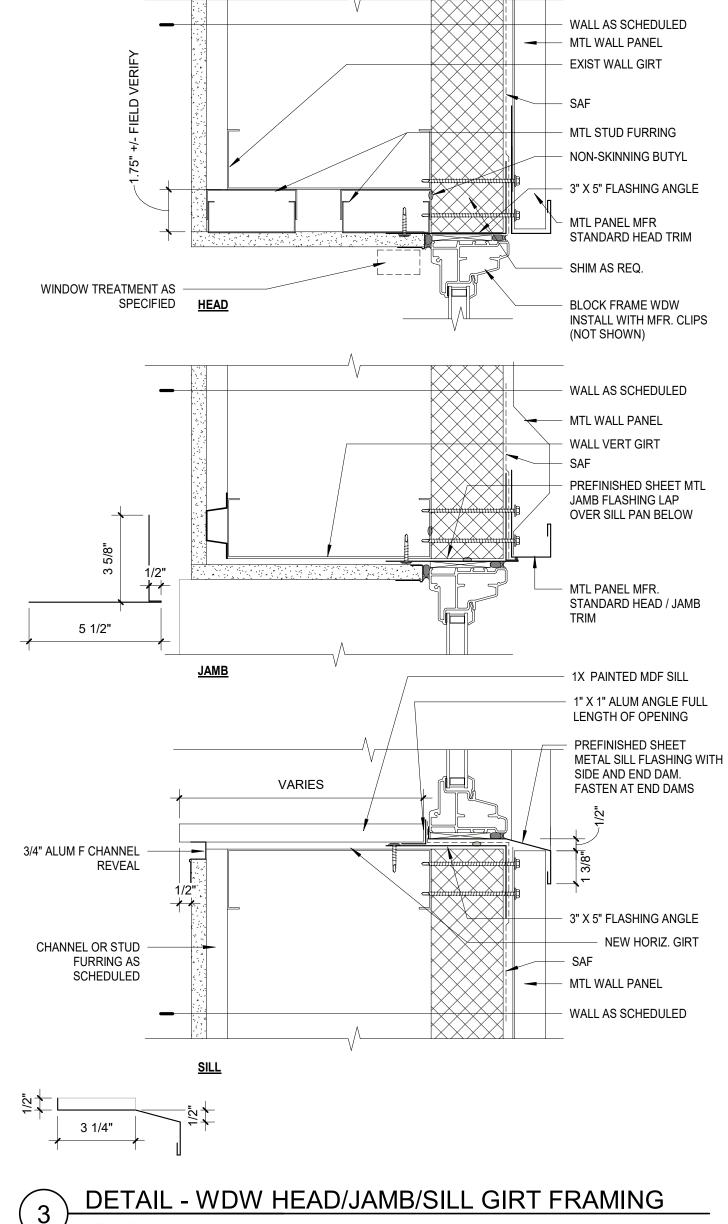
JULY 7, 2023

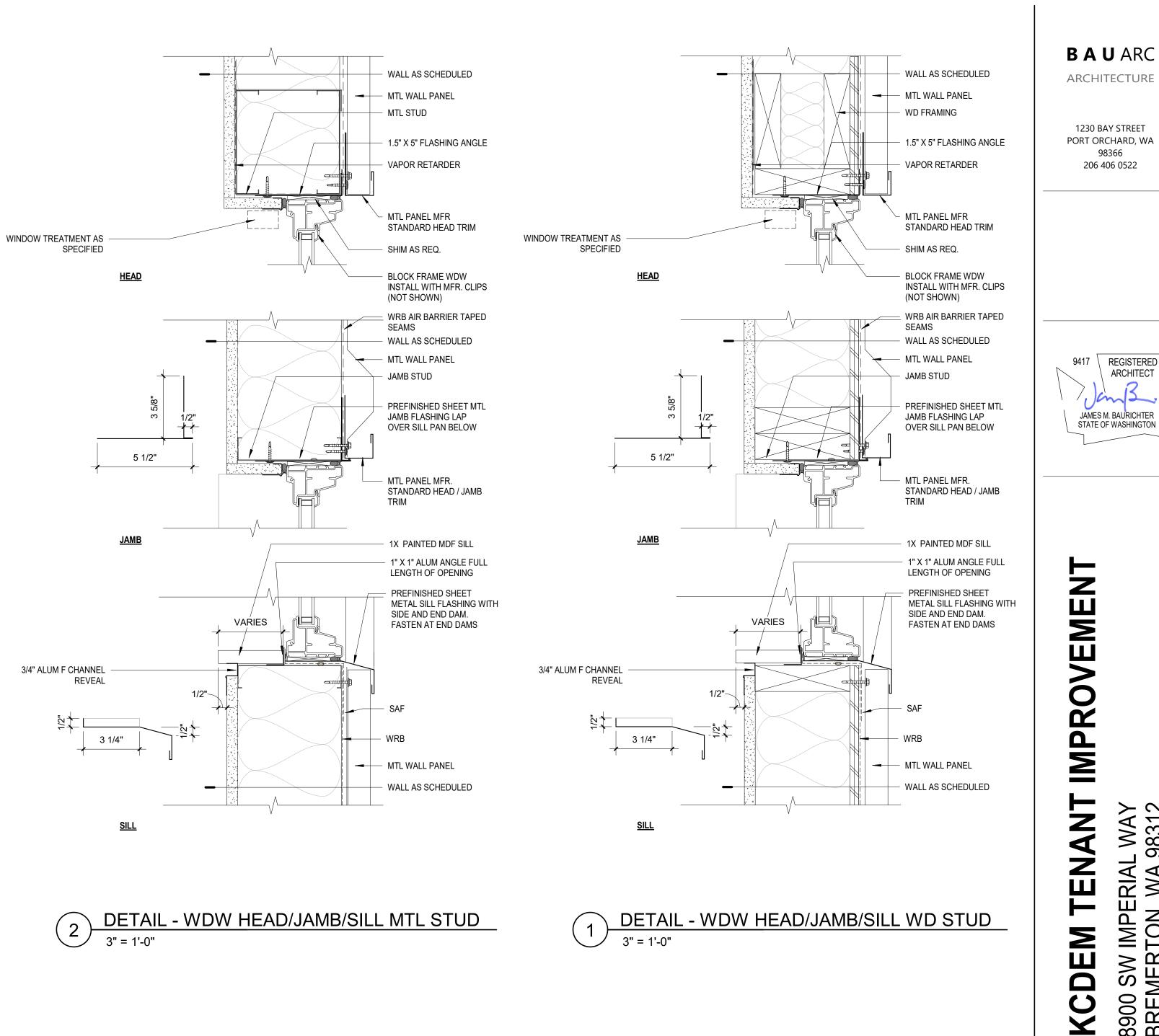
DATE: JULY 7, 2023
BA NO: 2021.03
CHECKED: JMB

EXTERIOR DETAILS

A5.03



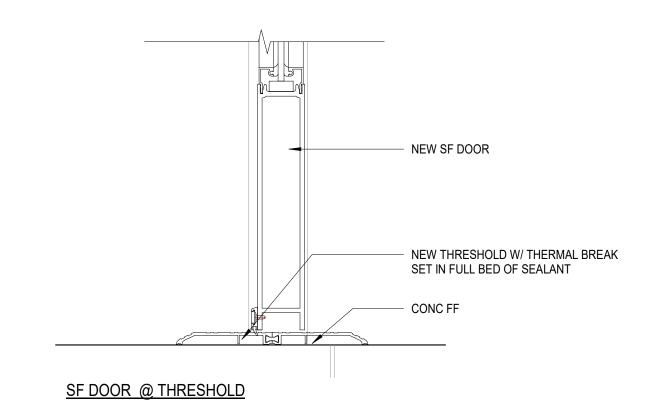




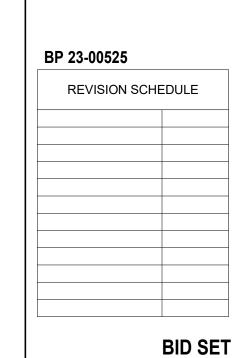


DETAIL - WDW HEAD/JAMB/SILL MTL STUD

1 DETAIL - WDW HEAD/JAMB/SILL WD STUD



STOREFRONT DOOR @ THRESHOLD
3" = 1'-0"



ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA

98366

206 406 0522

REGISTERED ARCHITECT

JAMES M. BAURICHTER

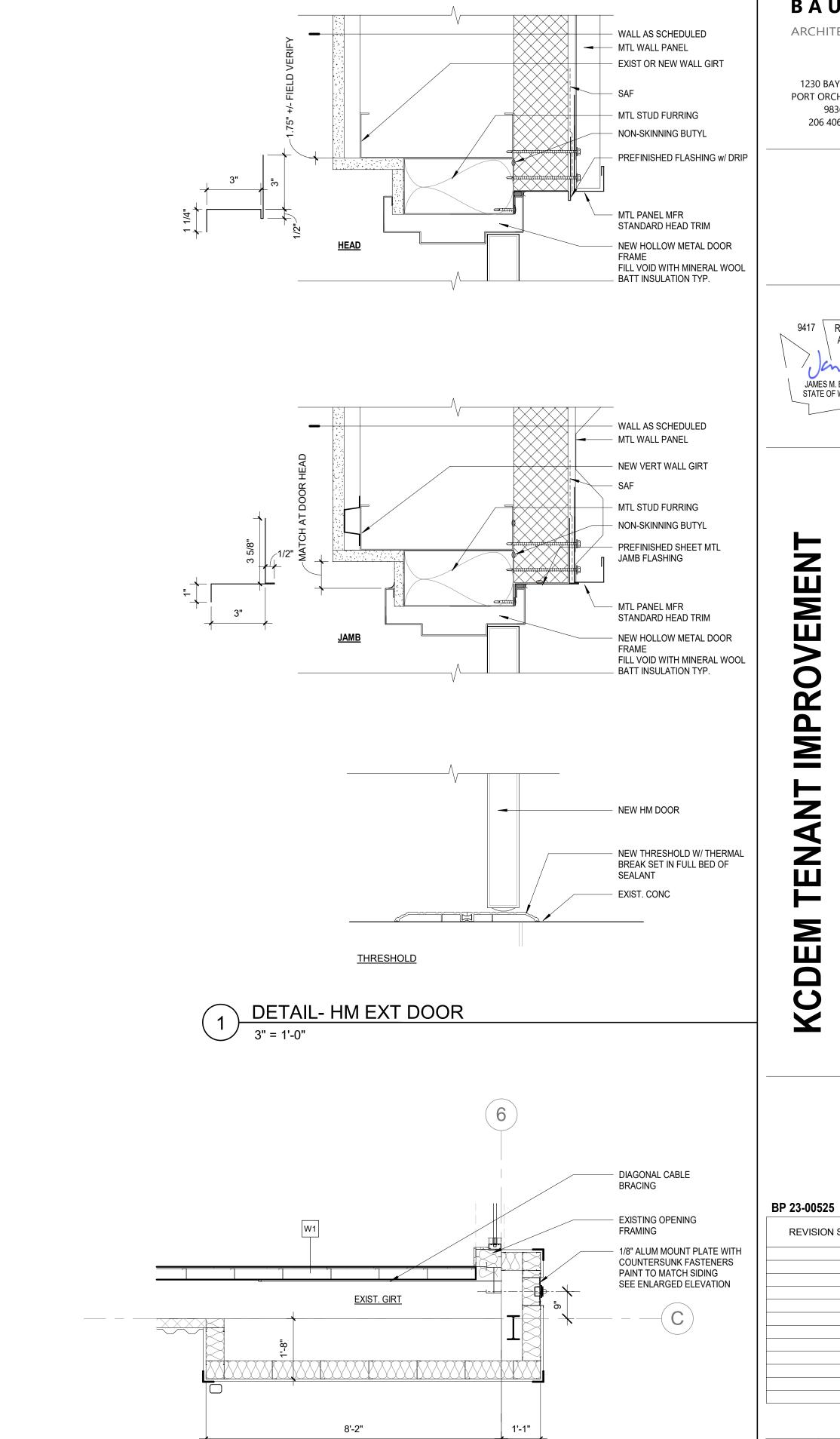
STATE OF WASHINGTON

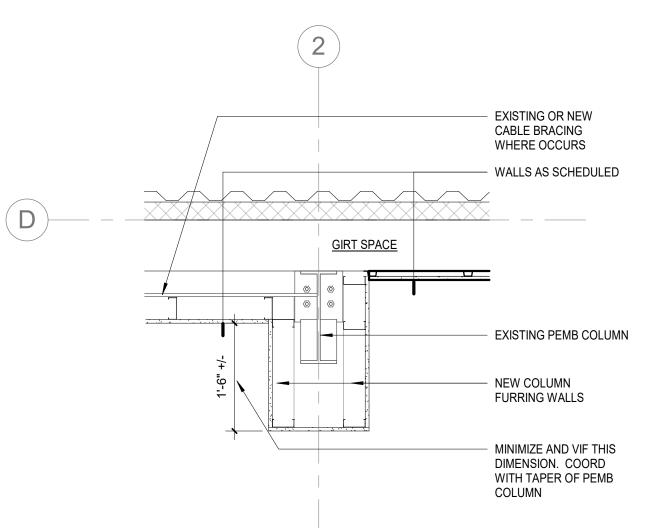
IMPROVEMENT

8900 SW IMPERIAL W BREMERTON, WA 98

JULY 7, 2023 BA NO: 2021.03 JMB CHECKED:

EXTERIOR DETAILS





PLAN DETAIL - TYP @ PEMB COLUMN
3/4" = 1'-0"

PLAN DETAIL - SE CORNER

EXTERIOR DETAILS / PLAN DETAILS

DATE:

BA NO: CHECKED: **BID SET**

JULY 7, 2023

2021.03 JMB

REVISION SCHEDULE

BAUARC

ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA 98366

206 406 0522

REGISTERED ARCHITECT

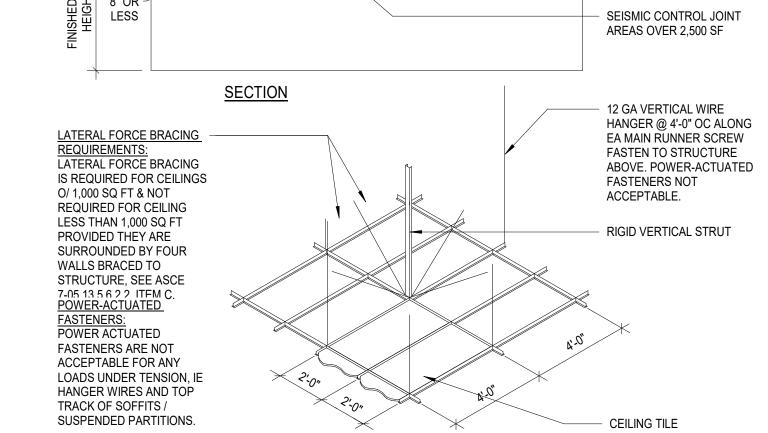
JAMES M. BAURICHTER STATE OF WASHINGTON

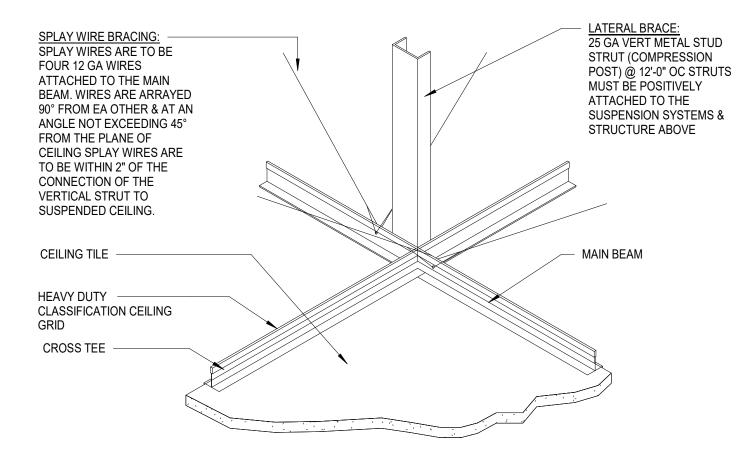
KCDEM TENANT IMPROVEMENT 8900 SW IMPERIAL WAY BREMERTON, WA 98312

45° OR LESS

ACOUSTICAL

CEILING TILE





MAXIMUM RECOMMENDED LENGTHS FOR VERTICAL STRUTS FOR 1" METAL STUDS: 1 5/8" METAL STUD (25 GAGE) UP TO 6'-2 2 1/2" METAL STUD (25 GAGE) UP TO 10'-6"

NOTES:

A STRUT, WITH STIFFNESS ADEQUATE TO RESIST THE VERTICAL LOADS IMPOSED, SHALL BE ATTACHED TO THE SUSPENSION SYSTEM & TO THE STRUCTURE ABOVE AT EACH BRACING LOCATION.

DIRECTION AND THE FIRST POINT SHALL BE WITHIN 6 FEET OF EACH WALL.

SPREADER (SPACER) BARS OR OTHER MEANS APPROVED BY THE LOCAL BUILDING DEPT. SHALL BE USED TO PREVENT ENDS OF MAIN BEAMS AT PERIMETER WALLS FROM SPREADING OPEN DURING A SEISMIC EVENT. PERIMETER WIRES SHALL NOT BE USED IN LIEU OF SPREADER BARS, SEE CISCA ZONES 3 - 4.

LIGHT FIXTURES & MECHANICAL SERVICES: ATTACH PER "GUIDELINES FOR SEISMIC RESTRAINT FOR DIRECT HUNG SUSPENDED CEILING ASSEMBLIES - SEISMIC ZONES 3 & 4",(MOST CURRENT) BY CEILING & INTERIOR SYSTEMS CONSTRUCTION ASSOCIATION (CISCA).

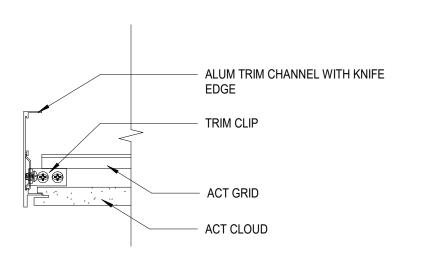
SUSPENDED CEILING INSTALLATION SHALL BE INSTALLED PER IBC 2018, ASTM C 635 & ASTM C636, ASCE 7-05 & CISCA ZONES 3-4.

SEISMIC SEPARATION JOINTS: FOR CEILING EXCEEDING 2,500 SQ FT, A SEISMIC JOINT OR FULL HEIGHT WALL PARTITION THAT BREAKS THE CEILING SHALL BE PROVIDED UNLESS ANALYSES ARE PERFORMED OF THE CEILING BRACING SYSTEM, CLOSURE ANGLES & PENETRATIONS TO PROVIDE SUFFICIENT CLEARANCE, SEE ASCE 7-05 13.5.6.2.2, ITEM D.

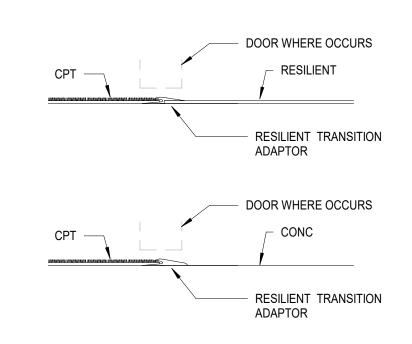
CHANGES IN CEILINGS PLANES WILL REQUIRE POSITIVE BRACING, SEE ASCE 7-05 13.5.6.2.2 ITEM F.

PARTITIONS THAT ARE TIED TO THE CEILING AND ALL PARTITIONS GREATER THAN 6 FEET IN HEIGHT SHALL BE LATERALLY BRACED TO THE STRUCTURE. BRACING SHALL BE INDEPENDENT OF THE CEILING SPLAY BRACING SYSTEM, SEE ASCE 7-05

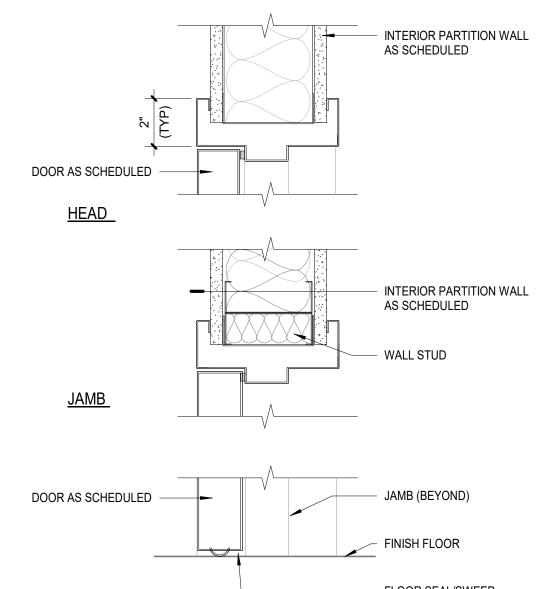




DETAIL - ACT CLOUD EDGE



FLOORING TRANSITIONS



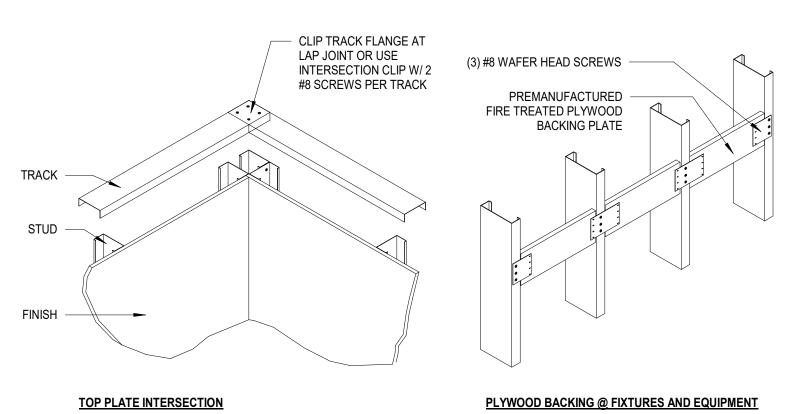
FLOOR SEAL/SWEEP

ROOF STRUCTURE ABV. - (2) 12 GA SPLAY WIRES AT MAX 8' OC 1/4" CLOSED-EYE BOLT THROUGH PARTITION TRACK - 20 GA TOP TRACK SOUND BATT INSULATION 2'-0" WIDE EACH SIDE OF INTERIOR SOUND PARTITIONS NEW SUSPENDED ACT CEILING METAL STUD PARTITION WALL AS SCHEDULED - SOUND BATT INSULATION AT SOUND WALLS WALL BASE AS SCHEDULED GWB TO WITHIN 1/4" OF - CONT. 20 GA BOTTOM WITH FLOOR SLAB. SEALANT W/ ACOUSTICAL SEALANT @ P.A.F FASTENER TO SOUND PARTITIONS STRUCTURE 32" OC MAX **GENERAL NOTES:**

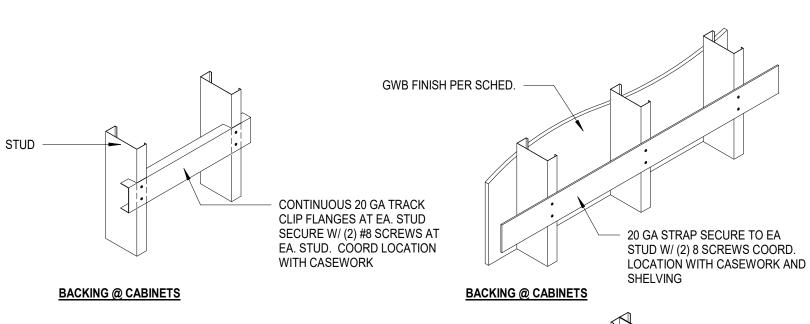
1. MAXIMUM PLENUM HEIGHT: 10' 2. LATERAL SUPPORTS MAY BE OMITTED FOR PORTIONS OF PARTITIONS THAT ARE WITHIN 8 FEET OF AN INTERSECTION

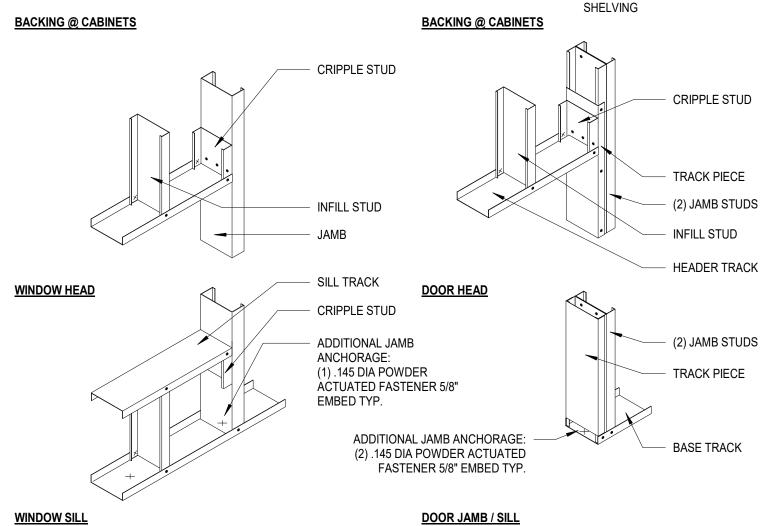
3. MAXIMUM PARTITION WEIGHT: 15 LBS/SF 4. SPLAY WIRE TO BE WRAPPED AROUND ITSELF THREE FULL TURNS WITHIN A 3-INCH LENGTH

TYP. SECTION @ INTERIOR PARTITION

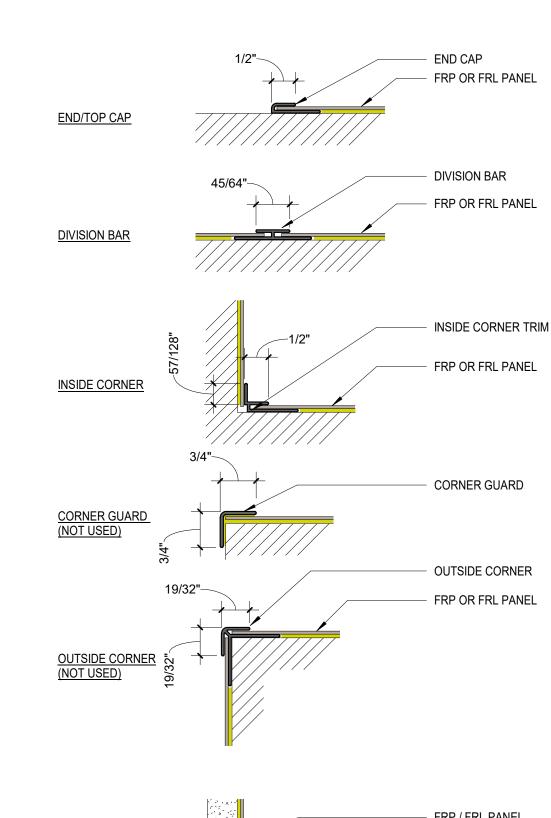


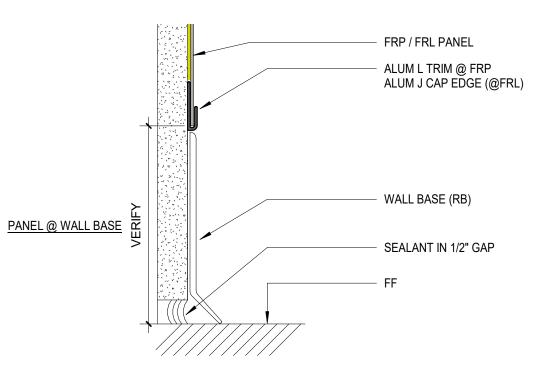
DETAIL - INTERIOR HOLLOW METAL





TYP NON-LOAD BEARING MTL STUD PARTITIONS





DETAIL - WAINSCOT TRIMS

BAU ARC **ARCHITECTURE**

> 1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522

REGISTERED ARCHITECT JAMES M. BAURICHTER STATE OF WASHINGTON

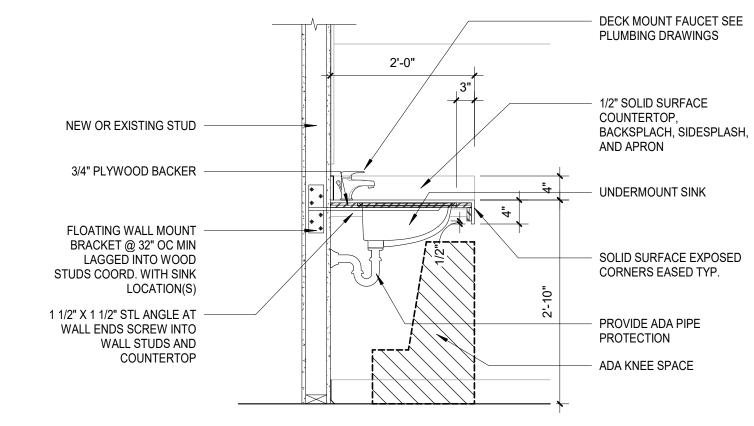
IMPROVEMENT DEM

BP 23-00525 REVISION SCHEDULE

BID SET DATE: JULY 7, 2023 BA NO: 2021.03 CHECKED:

INTERIOR DETAILS

CASEWORK - TYPICAL BASE AND UPPER



VANITY SECTION

BAUARC

ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522



IMPROVEMENT 8900 SW IMPERIAL W BREMERTON, WA 98 KCDEM TENA

BP 23-00525 REVISION SCHEDULE

BID SET JULY 7, 2023 2021.03 JMB DATE: BA NO: CHECKED:

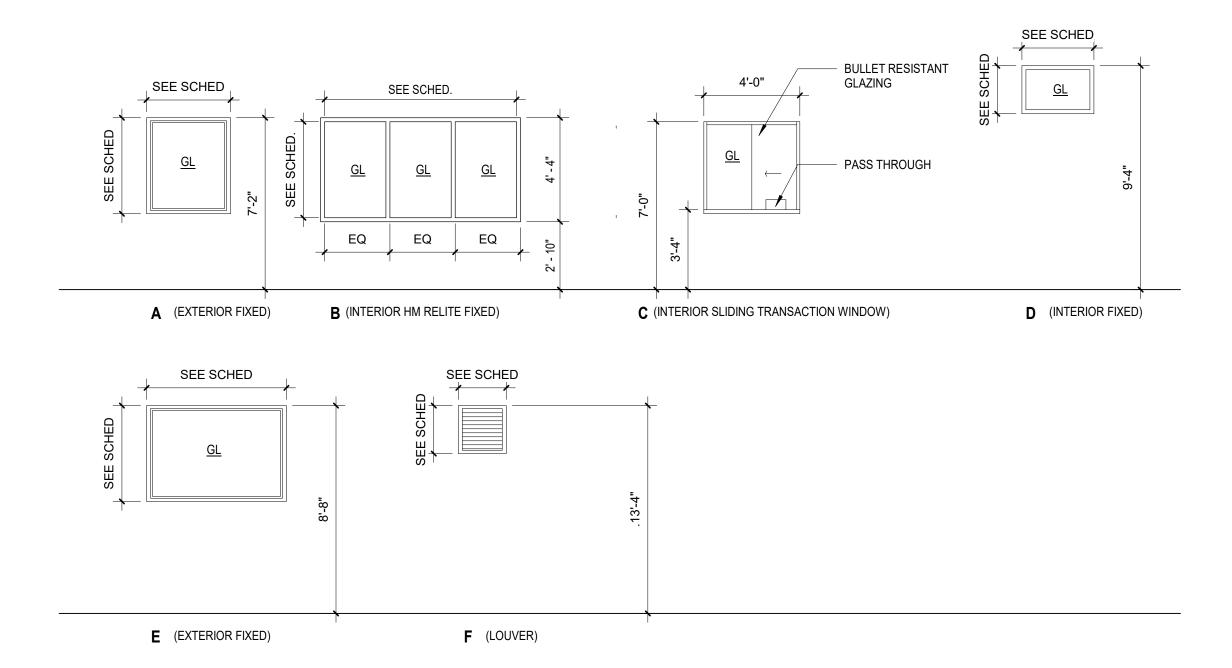
INTERIOR DETAILS

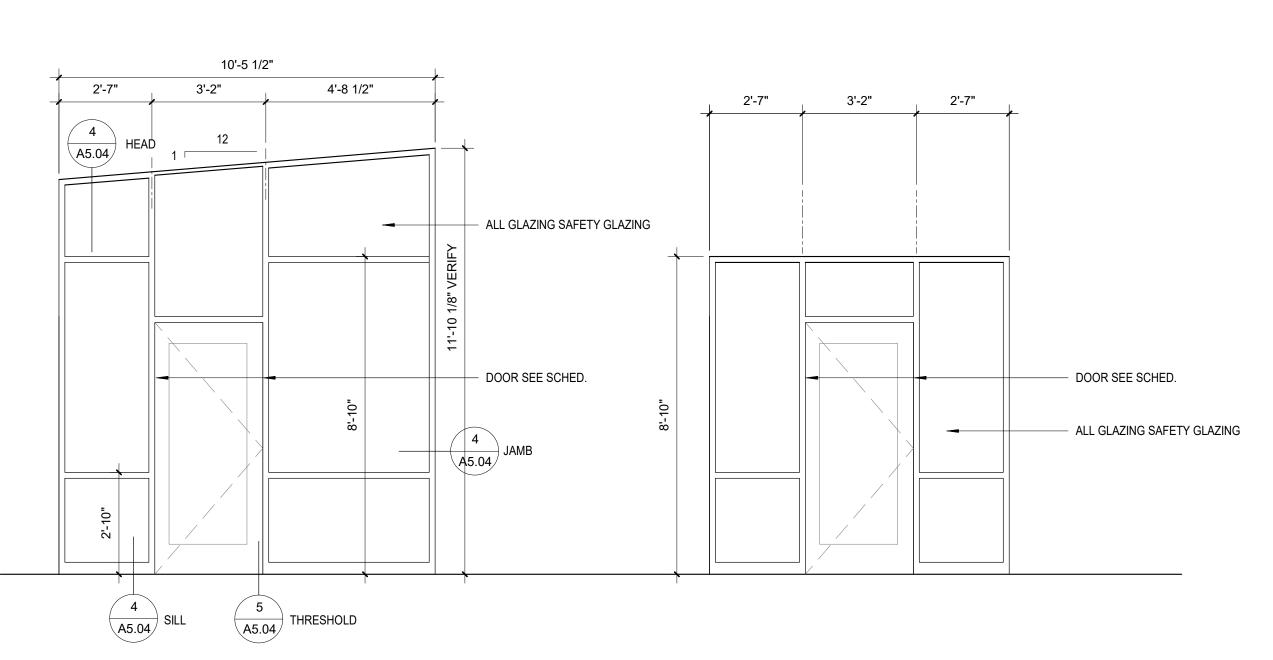
WINDOW / LOUVER SCHEDULE											
WINDOW FRAME TYPE WIDTH HEIGHT GLAZING MATERIAL FIRE RATING NO											
A 3' - 4" 4' - 0" FG - 1, 3											
В	10' - 0"	4' - 0"		НМ	-	3					
С	4' - 0"	3' - 10"		AL	-	3					
D	3' - 0"	2' - 0"		НМ	-						
E	5' - 10"	4' - 0"		FG	-	3					
F	2' - 0"	2' - 0"	NA	AL	-	2					

WINDOW / LOUVER SCHEDULE NOTES

- WINDOW TYPE A: BASIS OF DESIGN: MILGARD C650 , DUAL GLAZED WITH ARGON, U-FACTOR .25, SHGC: .29
 SEE MECHANICAL DRAWINGS FOR LOUVER SPECIFICATIONS
- 3. PROVIDED HORIZONTAL LOUVER BLIND

WINDOW TYPES





SF-1 (EXTERIOR) SHGC .61 MAX SF-2 (INTERIOR)



101 A 102 B	SCWD SCWD	ST	7' - 0" 7' - 0"	3' - 0" 3' - 0"	1 3/4" 1 3/4"	F1 F1	HM HM	PT PT	NA NA	3 4	2, 3
102A AA 102B B	SCWD SCWD	ST	7' - 0" 7' - 0"	6' - 0" 3' - 0"	1 3/4" 1 3/4"	F2 F1	HM HM	PT PT	NA NA	5 6	2, 6
102C A 102D A	HM SCWD	ST	7' - 0" 7' - 0"	3' - 0" 3' - 0"	1 3/4" 1 3/4"	F1 F1	HM HM	PT PT	NA NA	7 4	2 2
103 B 104 B	SCWD SCWD	ST ST	7' - 0" 7' - 0"	3' - 0" 3' - 0"	1 3/4" 1 3/4"	F1 F1	HM HM	PT PT	NA NA	6 8	2
105 B 106 B	SCWD SCWD	ST	7' - 0" 7' - 0"	3' - 0" 3' - 0"	1 3/4" 1 3/4"	F1 F1	HM HM	PT PT	NA NA	8 9	
107 B 107A B	SCWD SCWD	ST ST	7' - 0" 7' - 0"	3' - 0" 3' - 0"	1 3/4" 1 3/4"	F1 F1	HM HM	PT PT	NA NA	8	
108 BB 108A B	SCWD SCWD	ST ST	7' - 0" 7' - 0"	6' - 0" 3' - 0"	1 3/4" 1 3/4"	F2 F1	HM HM	PT PT	NA NA	10 6	1, 2
108B BB 108C A	HM HM	PT	7' - 0" 7' - 0"	6' - 0" 3' - 0"	1 3/4" 1 3/4"	F2 F1	HM HM	PT PT	NA NA	11 12	1, 2
108D F	AL AL	FF FF	10' - 0" 7' - 0"	12' - 0"	1 3/4"	1 '	STL	FF FF	NA NA	13	7 1, 2, 3
110 AB	SCWD	ST	7' - 0"	6' - 0"	1 3/4"	F2	НМ	PT	NA	15	6, EAST LEAF ACTIVE W/ VISION LITE
111 A 112 A	SCWD SCWD	ST	7' - 0" 7' - 0"	3' - 0" 3' - 0"	1 3/4" 1 3/4"	F1 F1	HM HM	PT PT	NA NA	9 16	
113 A 114 A	SCWD SCWD	ST ST	6' - 8" 7' - 0"	3' - 0" 3' - 0"	1 3/4" 1 3/4"	F1 F1	HM HM	PT PT	NA NA	17 16	
115 B 116 A	SCWD SCWD	ST ST	7' - 0" 7' - 0"	3' - 0" 3' - 0"	1 3/4" 1 3/4"	F1 F1	HM HM	PT PT	NA NA	8	2
117 B 118 B	SCWD SCWD	ST ST	7' - 0" 7' - 0"	3' - 0" 3' - 0"	1 3/4" 1 3/4"	F1 F1	HM HM	PT PT	NA NA	8	
119 B 120 B	SCWD SCWD	ST	7' - 0" 7' - 0"	3' - 0" 3' - 0"	1 3/4" 1 3/4"	F1	HM HM	PT PT	NA NA	6	2 2
121 B	SCWD	ST	7' - 0"	3' - 0"	1 3/4"	F1	НМ	PT	NA	8	
122 A 123 B	SCWD SCWD	ST	7' - 0"	3' - 0"	1 3/4"	F1 F1	HM HM	PT PT	NA NA	18	
124 A 125 B	HM HM	PT	7' - 0" 7' - 0"	3' - 0" 3' - 0"	1 3/4" 1 3/4"	F1 F1	HM HM	PT PT	NA NA	20 6	2
125A A 125B G	HM STL	PT PT	7' - 0" 10' - 0"	3' - 0" 10' - 0"	1 3/4"	F1	HM STL	PT FF	NA NA	7 13	2 8
126 AA 127 A	HM SCWD	PT ST	7' - 0" 7' - 0"	6' - 0" 3' - 0"	1 3/4" 1 3/4"	F2 F1	HM HM	PT PT	NA NA	21	2 2
 DOOR WITH (DOOR WITH A PROVIDE ADA 	A DOOR AUTO (OR WITH ONE A TRACK	ON OPERATE RCOM LINKE OPENER	ED BY RECEPT D TO ACCESS	CONTROL	VIA CELL PHONE AF	рP		b. c. d. e.	ALL EXTE	ERIOR HM DOOF ERIOR HM AND A	TO BE SELF-CLOSING EXCEPT GARAGE DOOR(S) RS TO BE INSULATED. BASIS OF DESIGN U-VALUE: 0.36 AL DOORS WITH >50% GLAZING TO BE INSULATED. BASIS OF DESIGN U-VALUE: 0.37 SHOLDS 1/2" ABV. FINISH ELEVATION EA. SIDE
SEE SCHED A (FLUSH		SEE SCH	MITH VISION L	LITE) (7	D EXTER	IOR PRE-HUNC	CHAIN-LINK G	ATE	
	, //										
	· //										
	, //										
	· //										
	LATED ALUMINI							AL GARAGE DO OPAY 3722 R-1			
DOOR TY	PES										
₋ SI	EE SCHED _L		_{l.} SE	EE SCHED	L.						
- HED	OOR PER SCHED.	SEE SCHED.	DR WIDT DOOR PE SCHED.	TH DR WIL	PER						
HOLLOW	META	L DOC		AME ⁻	TYPES						

DOOR SCHEDULE

FIRE HARDWARE

1, 2, 3, 4, 5

NOTES

FRAME INFORMATION

TYPE MAT'L FINISH HEIGHT WIDTH THICKNESS TYPE MAT'L FINISH RATING GROUP

4' - 1" 0" 3' - 0" 1 3/4"

DOOR INFORMATION

BAU ARC

ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA

> 98366 206 406 0522

> > REGISTERED

JAMES M. BAURICHTER STATE OF WASHINGTON

ANT IMPROVEMENT
WAY
8312

TENA

KCDEM

BP 23-00525

BA NO: CHECKED:

REVISION SCHEDULE

DOOR / WINDOW SCHEDULES

BID SET

JULY 7, 2023

2021.03 JMB

8900 SW IMPERIAL W BREMERTON, WA 98

INTERIOR WALL ASSEMBLY SCHEDULE

MARK	DIAGRAM	CONSTRUCTION	GA FILE NO.	STC	FIRE RATING	R OR U VALUE
W11	GIRT	INTERIOR WALL: NEW 5/8" TYPE 'X' GWB NEW 087F125-30 (2 23/32" X 7/8") HAT CHANNEL @ 16" OC EXISTING STEEL 8 1/2" GIRTS 3 1/2" BATT ACOUSTICAL INSULATION NEW 087F125-30 (2 23/32" X 7/8") HAT CHANNEL @ 16" OC NEW 5/8" TYPE 'X' GWB SECURE CHANNEL TO GIRTS WITH 3/8 (MIN) PAN HEAD SELF-DRILLING SCREWS. TWO ARE USED AT EACH FASTENING LOCATION, ONE THROUGH EACH LEG OF FURRING CHANNEL			NA	NA
W12		INTERIOR SOUND WALL: - 5/8" TYPE 'X' GWB - 358S125-33 STUDS AT 16" O.C 3 1/2" ACOUSTICAL BATT INSULATION - 5/8" TYPE 'X' GWB			NA	NA
W13		INTERIOR WALL: - 5/8" TYPE 'X' GWB - 358S125-33 STUDS AT 16" O.C 5/8" TYPE 'X' GWB			NA	NA
W14		INTERIOR WALL: - 5/8" TYPE 'X' GWB - 2X4 WD STUDS AT 16" O.C 5/8" TYPE 'X' GWB				

HORIZONTAL ASSEMBLY SCHEDULE

HORIZ	ONTAL ASSEMBLY SCHEDULE		
MARK	DIAGRAM	CONSTRUCTION	U-VALUE
R1	PURLIN REMOVE EXIST. BELOW ROOF 1" BATT INSULATION & SCRIM	METAL OVER METAL REROOF -NEW STANDING SEAM METAL ROOF -NEW 4" RIGID INSULATION (BASIS OF DESIGN: R-SEAL (R-30)) -NEW 3 1/2" R-11 BATT INSULATION (DEPTH COMPRESSED TO 1.5" R-VALUE REDUCED TO R-6) -NEW SHEET METAL SUB-PURLIN (BASIS OF DESIGN: ROOF HUGGER 5.5") -NEW SELF ADHERING SHEET MEMBRANE (AIR BARRIER) -EXISTING PBR METAL ROOFING TO REMAIN -EXISTING Z PURLINS TO REMAIN	.028
R2		METAL OVER METAL REROOF (2X10 FRAMING) -NEW STANDING SEAM METAL ROOF -NEW 4" RIGID INSULATION (BASIS OF DESIGN: R-SEAL (R-30)) -NEW SELF ADHERING SHEET MEMBRANE (AIR BARRIER) -EXISTING ROOF 1/2" CDX SHEATHING TO REMAIN -EXISTING 2X10'S @ 24" OC TO REMAIN (EXIST. BATT INSUL. TO BE REMOVED -NEW 5/8" GWB CEILING	.031
R3	ATTIC	METAL ROOF ABV. RM. TOILET 101 -STANDING SEAM METAL ROOF -NEW SELF ADHERING SHEET MEMBRANE (AIR BARRIER) -NEW SHEATHING -NEW MTL ROOF JOISTS @ 24" OC SEE STRUCTVENTED ATTIC SPACE -R-49 BATT INSULATION -VAPOR RETARDER -NEW MTL CEILING FRAMING SEE STRUCT5/8" TYPE X GWB	
R4		METAL ROOF @ NEW CANOPY -STANDING SEAM METAL ROOF -NEW SELF ADHERING SHEET MEMBRANE UNDERLAYMENT -NEW SHEATHING -NEW MTL JOISTS @ 24" OC SEE STRUCTURAL -1X6 CEDAR T&G PLANKS, STAINED	
R5	PURLIN	METAL ROOF @ EXISTING COVERED WALKWAY -NEW STANDING SEAM METAL ROOF ON FLOATING CLIPS (TO REDUCE PURLIN CHATTER) -EXISTING PURLINS	
C 1		METAL CEILING ABV. RM. BALLOT TAB 127 -ROOF ASSEMBLY ABOVE (NOT SHOWN) R-15 ACOUSTICL BATT INSULATION -NEW MTL CEILING FRAMING SEE STRUCT5/8" TYPE X GWB -T&G WOOD PLANK CEILING (WHERE OCCURS SEE RCP) -ACT CEILING BELOW WHERE OCCURS SEE RCP (NOT SHOWN)	

EXTERIOR WALL ASSEMBLY SCHEDULE

MARK	DIAGRAM	CONSTRUCTION	GA FILE NO.	STC	FIRE RATING	R OR U VALUE
W1	ACTS AS VAPOR RETARDER AND AIR BARRIER GIRT	EXTERIOR WALL: @ TENSION CABLE LOCATIONS - NEW METAL SIDING - NEW 3" RIGID INSULATION WITH LAMINATED POLYPROPYLENE SCRIM BOTH SIDES (R-22.5) - EXISTING STEEL 8 1/2" GIRTS - EXISTING OR NEW DIAGONAL TENTION CABLES - NEW 358S125-33 MTL STUDS @ 16" OC** **AT STRUCTURAL STUD LOCATIONS SEE STRUCTURAL DRAWINGS - NEW 5/8" TYPE 'X' GWB NEW METAL STUD FURRING WALL STUDS SPACED OUT FROM GIRT TO ALLOW FOR DIAGONAL TENSION CABLING			NA	U =.044
W2	ACTS AS VAPOR RETARDER AND AIR BARRIER GIRT	EXTERIOR WALL: - METAL SIDING - NEW 3" RIGID INSULATION WITH LAMINATED POLYPROPYLENE SCRIM BOTH SIDES (R-22.5) - EXISTING STEEL 8 1/2" GIRTS - NEW 087F125-30 (2 23/32" X 7/8") HAT CHANNEL @ 16" OC - NEW 5/8" TYPE 'X' GWB SECURE CHANNEL TO GIRTS WITH 3/8 (MIN) PAN HEAD SELF-DRILLING SCREWS. TWO ARE USED AT EACH FASTENING LOCATION, ONE THROUGH EACH LEG OF FURRING CHANNEL			NA	U =.044
W3	ACTS AS VAPOR RETARDER AND AIR BARRIER GIRT (EXPOSED TO INSIDE)	EXTERIOR WALL: @ UNFINISHED WALL;STAGING AREA - NEW METAL SIDING - NEW 3" RIGID INSULATION WITH LAMINATED POLYPROPYLENE SCRIM BOTH SIDES (R-22.5) - EXISTING STEEL 8 1/2" GIRTS (NEW @ INFILL LOCATIONS			NA	U =.044
W4		EXTERIOR WALL (EXIST) MTL STUD: - NEW MTL SIDING (SEE ELEV. FOR TYPE) - NEW WRB/AIR BARRIER - NEW R-21 INSULATION - EXIST 6" MTL STUDS AT 16" O.C. - VAPOR RETARDER - NEW 5/8" TYPE 'X' GWB PROVIDE BLK'G / BACKING AS REQ. FOR METAL WALL PANEL ATTACHMENT			NA	
W5		EXTERIOR WALL (NEW) MTL STUD: - NEW MTL SIDING (SEE ELEV. FOR TYPE) - NEW WRB/AIR BARRIER - NEW R-21 INSULATION - NEW 600S162-33 MTL STUDS AT 16" O.C. - VAPOR RETARDER - NEW 5/8" TYPE 'X' GWB PROVIDE BLK'G / BACKING AS REQ. FOR METAL WALL PANEL ATTACHMENT			NA	
W6		EXTERIOR NEW MTL STUD WALL: - NEW WD SIDING (SEE ELEV. FOR TYPE) - NEW WRB/AIR BARRIER - NEW SHEATHING - NEW R-21 INSULATION - NEW 600S162-33 MTL STUDS AT 16" O.C. - VAPOR RETARDER - NEW 5/8" TYPE 'X' GWB			NA	
W7		EXTERIOR WD STUD WALL (2X4): - NEW MTL SIDING - NEW WRB/AIR BARRIER - EXIST. SHEATHING - NEW BATT INSULATION (FILL CAVITY) - EXIST 2X STUDS AT 16" O.C. OR NEW STUDS AT OPENING INFILL LOCATIONS - VAPOR RETARDER - NEW 5/8" TYPE 'X' GWB			NA	
W8		EXTERIOR WD STUD WALL (2X6): - NEW MTL SIDING - NEW WRB/AIR BARRIER - EXIST. SHEATHING - NEW BATT INSULATION (FILL CAVITY) - EXIST 2X STUDS AT 16" O.C. OR NEW STUDS AT OPENING INFILL LOCATIONS - VAPOR RETARDER - NEW 5/8" TYPE 'X' GWB			NA	

B A U ARC ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA 206 406 0522

JAMES M. BAURICHTER STATE OF WASHINGTON

KCDEM TENANT IMPROVEMENT 8900 SW IMPERIAL WAY BREMERTON, WA 98312

BP 23-00525

REVISION SCHEDULE

BID SET JULY 7, 2023 2021.03 JMB DATE: BA NO: CHECKED:

ASSEMBLY SCHEDULES

DEAD LOAD 13 psf 0 psf 3. LATERAL LOAD FORCES TRANSMITTED BY DIAPHRAGM ACTION TO WOOD SHEARWALLS AND THENCE TO FOUNDATION WHERE DISPLACEMENT IS RESISTED BY PASSIVE PRESSURE AND SLIDING FRICTION OF EARTH.

SNOW DESIGN DATA (ASCE 7-16) FLAT SNOW LOAD, pf: 30 psf SNOW EXPOSURE FACTORY, Ce: 1.0 SNOW IMPORTANCE FACTOR, is: 1.0

THERMAL FACTOR, ct: 1.1 WIND DESIGN DATA (ASCE 7-16) WIND SPEED: Vult=110 mph RISK CATEGORY: II

EXPOSURE CATEGORY: B SEISMIC DESIGN DATA (ASCE 7-16)

RISK CATEGORY: IV SEISMIC IMPORTANCE FACTOR, Ie:=1 MAPPED SPECTRAL RESPONSE ACCELERATION: Ss= . S1= DESIGN SPECTRAL RESPONSE ACCELERATION: Sds=1.012, Sd1=0.594 SITE CLASS: D

SEISMIC FORCE RESISTING SYSTEM: WOOD SHEARWALLS

SEISMIC DESIGN CATEGORY: D SEISMIC RESPONSE COEFFICIENT, Cs: RESPONSE MODIFICATION COEFFICIENT, R: 3 EQUIVALENT LATERAL FORCE PROCEDURE (ASCE 41) DESIGN BASE SHEAR: k

SOIL PROPERTIES BEARING CAPACITIES: 1500 psf LATERAL CAPACITY: 250 psf/ft

GENERAL

THE STRUCTURAL CONSTRUCTION DOCUMENT REPRESENTS THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE. BUT NOT LIMITED TO, BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. THE STRUCTURAL ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTORS MEANS, METHODS, TECHNIQUES, SEQUENCES OF PROCEDURE OF CONSTRUCTION, OR THE SAFETY PRECAUTIONS AND THE PROGRAMS INCIDENT THERETO.

CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED CONSTRUCTION. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.

WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST ADDITION AND/OR ADDENDA.

ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR ARCHITECTURAL. MECHANICAL, PLUMBING, AND ELECTRICAL WITH APPROPRIATE TRADES, DRAWINGS AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.

OPTIONS FOR CONTRACTOR'S CONVENIENCE. IF AN OPTION IS CHOSEN, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY CHANGES AND SHALL COORDINATE ALL DETAILS.

NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO START OF CONSTRUCTION. RESOLVE ANY DISCREPANCIES WITH ARCHITECT.

TYPICAL DETAILS MAY NOT NECESSARILY BE CUT ON PLANS, BUT APPLY UNLESS NOTED OTHERWISE.

WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL STRUCTURAL NOTES AND SPECIFICATIONS, THE GREATER REQUIREMENTS SHALL GOVERN.

ANY ENGINEERING DESIGN. PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW, SHALL BEAR THE SEAL OF A REGISTERED ENGINEER RECOGNIZED BY THE BUILDING CODE JURISDICTION OF THIS PROJECT.

ALL GRAVITY LOADS RESISTING AND LATERAL LOAD RESISTING STRUCTURAL MEMBERS ARE SHOWN ON THE ENGINEERING S PAGES. THE ENGINEERING CALCULATIONS ARE NOT REQUIRED TO BE REFERENCED FOR CONSTRUCTION, AND DON'T NEED TO BE ONSITE.

CONTRACTOR SHALL VERIFY ALL NOTES, DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL PERMANENT CONNECTIONS HAVE BEEN INSTALLED. ENGINEER AND DESIGNER SHALL BE NOTIFIED BY THE CONTRACTOR OF ANY DISCREPANCIES AT THE TIME THEY ARE NOTED.

CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITY LINES. CALL 1-800-424-5555 48 HOURS BEFORE DIGGING.

INFORM ENGINEER OF ALL CHANGES PROPOSED ON THE DRAWINGS OR SPECIFICATIONS BY THE ARCHITECT-NOTES PRIOR TO CONSTRUCTION OF THE CHANGE.

CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHOD, TECHNIOUES, SEOUENCES, PROCEDURES, SAFETY OF THE WORKERS AND STABILITY OF THE STRUCTURE DURING CONSTRUCTION AND FOR COORDINATING ALL PORTIONS OF THE WORK.

DRAWINGS SHALL BE USED FOR ONLY ONE CONSTRUCTION AND FOR LOCATIONS INDICATED HEREIN.

PLYWOOD WEB JOISTS

DESIGN, FABRICATION AND ERECTION IN ACCORDANCE WITH THE LATEST EDITION I.C.C. REPORT ESR-1305. CONNECTIONS AND BEARING MATERIAL TO BE SHOP CONNECTED TO JOISTS AND DESIGNED AND FURNISHED BY JOIST FABRICATOR.

MANUFACTURED I-JOISTS SHALL CONFORM TO ASTM505.

CALCULATIONS SHALL INCLUDE DEFLECTION AND CAMBER REQUIREMENTS. DEFLECTION SHALL BE LIMITED AS FOLLOWS:

FLOOR LIVE LOAD MAXIMUM = L/480. FLOOR TOTAL LOAD MAXIMUM = L/240.

CONTRACTOR SHALL SUBMIT SHOP DRAWINGS WITH DESIGN CALCULATIONS SEALED BY A REGISTERED ENGINEER FOR REVIEW PRIOR TO MANUFACTURE

ADDITIONAL JOISTS SHALL BE SUPPLIED AS REQUIRED TO SUPPORT MECHANICAL EQUIPMENT.

FOUNDATIONS

ALL FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED SOIL OR APPROVED FILL 12" MINIMUM BELOW FINISHED GRADE. FINISHED GRADE IS DEFINED AS TOP OF SLAB FOR INTERIOR FOOTINGS AND LOWEST ADJACENT GRADE EXTENDING UP TO 5 FEET FROM WALL FOR PERIMETER FOOTINGS. DESIGN SOIL BEARING VALUE = 1500 PSF.

WHERE REQUIRED BY THE BUILDING OFFICIAL, THE CLASSIFICATION AND INVESTIGATION OF THE SOIL SHALL BE PERFORMED BY A REGISTERED DESIGN PROFESSIONAL (1806.2) UNLESS A SOIL INVESTIGATION IS PROVIDED. FOUNDATION DESIGN IS BASED ON AN ASSUMED AVERAGE SOIL BEARING OF 1500 PSF. ORGANIC SILT, ORGANIC CLAYS, PEAT OR UNPREPARED FILL SHALL NOT BE ASSUMED TO HAVE BEARING CAPACITY (1806.2)

THIS ENGINEERING IS BASED ON SITE CLASS D SOILS IN ACCORDANCE WITH TABLE 1806.2 OF THE 2018 IBC.

SITE GRADING: THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5 PERCENT FOR A MINIMUM OF 10 FEET.

COMPACTED FILL MATERIAL SHALL NOT BE USED UNLESS ALLOWED BY A SOILS ENGINEERING REPORT.

CONCRETE

MINIMUM 28 DAY STRENGTH 2,500 PSI (fc = 2,500 PSI), $5\frac{1}{2}$ SACK U.N.O.

ALL CONCRETE CONSTRUCTION SHALL CONFORM TO A.C.I. MECHANICALLY VIBRATE ALL CONCRETE WHEN PLACED, EXCEPT SLABS ON GRADE NEED ONLY BE VIBRATED AT TRENCHES, FLOOR DUCTS, TURNDOWNS, ETC. MINIMUM SLUMP 4½" FOR CONCRETE WITHOUT PLASTICIZER. IF PLASTICIZER IS USED, A HIGHER FINAL SLUMP MAY BE ALLOWED UPON STRUCTURAL ENGINEER'S APPROVAL. UNLESS APPROVED OTHERWISE IN WRITING BY THE ARCHITEC, ALL CONCRETE SLABS ON GRADE SHALL BE BOUND BY CONTROL JOINTS (KEYED OR SAW CUT), AS SHOWN ON THE FOUNDATION PLAN, SUCH THAT THE ENCLOSED AREA DOES NOT EXCEED 225 SOUARE FEET. KEYED CONTROL JOINTS NEED ONLY OCCUR AT EXPOSED EDGES DURING POURING, ALL OTHER JOINTS MAY BE SAW CUT.

FLY ASH - IF PERMITTED BY ARCHITECTURAL SPECIFICATIONS - SHALL BE LIMITED TO 18% OF CEMENTITIOUS MATERIALS AND SHALL HAVE A REPLACEMENT FACTOR OF 1.2 RELATIVE TO CEMENT REPLACED. NO FLY ASH ADDITIVES SHALL BE USED IN FLATWORK OR ARCHITECTURALLY EXPOSED CONCRETE

CONCRETE MINIMUM REINFORCEMENT

THE FOLLOWING MINIMUM REINFORCEMENT SHALL BE PROVIDED U.N.O. ON THE DRAWING:

- 1. PROVIDE HORIZONTAL CORNER BARS AT ALL FOOTINGS AND WALL CORNERS AND HOOK BARS FOR T INTERSECTIONS WITH EQUAL SIZE AND SPACING OF THE HORIZONTAL REINFORCING USING THE INDICATED DETAILS OF SIMILAR SECTIONS AND DETAILS AS TYPICAL.
- PROVIDE ONE #4 VERTICAL BAR FULL HEIGHT OF WALL AT THE CORNER OR T
- PROVIDE A MINIMUM OF 0.2% REINFORCEMENT OF GROSS CONCRETE AREA OF WALL IN HORIZONTAL DIRECTION AND 0.12% IN VERTICAL DIRECTION. MAXIMUM REBAR SPACING IS 18" O.C. IN EACH DIRECTION.
- 4. PROVIDE A MINIMUM #4 BARS AT 12" ON CENTER IN ISOLATED FOOTINGS.
- PROVIDE REINFORCING CHAIRS IN ACCORDANCE WITH CRSI PLACING MANUAL.
- PROVIDE WWF 6X6X10X10 FOR 4" SLAB.
- PROVIDE CONSTRUCTION JOINT AT 20' MAXIMUM UNLESS NOTED OTHERWISE (SAW CUT 25% OF SLAB THICKNESS).

NAILS:

USE COMMON NAIL ONLY. IF BOX OR OTHER TYPE OF NAILS ARE USED, SIZE ADJUSTMENTS ARE REQUIRED. PROVIDE NAIL PER IBC TABLE 2304.10.1 GALVANIZE NAIL WHEN EXPOSED TO WEATHER. SIMPSON ZMAX AND HOT DIPPED ZINC NAILS SHALL BE USED FOR ALL PRESSURE TREATED WOODS OTHER THAN CHROMATED COPPER ARSENATE AND SODUIM BORATE.

PREFABRICATED WOOD TRUSSES

PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED TO SUPPORT SELF WEIGHT PLUS LIVE LOAD AND SUPERIMPOSED DEAD LOADS STATED IN THE GENERAL STRUCTURE NOTES OR AS LOCATED ON PLANS. BRIDGING SIZE AND SPACING SHALL BE BY TRUSS MANUFACTURER/TRUSS DESIGNER UNLESS NOTED OTHERWISE. CONTRACTOR SHALL SUBMIT A TRUSS SUBMITTAL PACKAGE AS DEFINED IN IBC SECTION 2303.4.1.4, INCLUDING, BUT NOT LIMITED TO, INDIVIDUAL TRUSS DESIGN DRAWINGS, TRUSS PLACEMENT DIAGRAM AND TRUSS MEMBER PERMANENT BRACING REQUIREMENTS. TRUSS DOCUMENTS SHALL BE SEALED BY A REGISTERED DESIGN PROFESSIONAL AS REQUIRED BY IBC SECTION 2303.4.1.3. CALCULATIONS AND SHOT DRAWINGS SHALL SHOW ANY SPECIAL DETAILS REQUIRED AT BEARING POINTS. ALL CONTRACTORS SHALL HAVE CURRENT I.C.C. APPROVAL.

CALCULATIONS SHALL INCLUDE DEFLECTION AND CAMBER REQUIREMENTS. DEFLECTION SHALL BE LIMITED AS FOLLOWS: ROOF TOTAL LOAD MAXIMUM= L/240. ROOF LIVE LOAD MAXIMUM= L/360.

TRUSS TOP CHORD MATERIAL SHALL HAVE A SPECIFIC GRAVITY OF NOT LESS

THAN 0.43. MULTIPLE TRUSS MEMBERS SHALL BE FASTENED TOGETHER TO ALLOW TRANSFER OF SHEAR AND TENSION FORCES (MINIMUM 200 PLF) AT PLYWOOD

SHEATHING JOINTS AND TO PREVENT CROSS GRAIN BENDING OF TOP CHORDS. ATTACHMENT SHALL BE A CONTINUOUS 20 GAGE METAL PLATE OR OTHER APPROVED MEANS. METHOD OF ATTACHMENT SHALL BE INDICATED ON SHOP DRAWINGS FOR REVIEW.

TRUSS MANUFACTURER SHALL HAVE I.C.C APPROVAL OR BE AN APPROVED FABRICATOR ACCORDING TO THE BUILDING JURISDICTION. TRUSS MANUFACTURER SHALL PERMANENTLY IDENTIFY EACH TRUSS.

GLUE-LAMINATED BEAMS (GLULAM)

GLUED - LAMINATED BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: Fb= 2400PSI, Fv= 265PSI, Fc (PERPENDICULAR)= 650 PSI, E= 1,800,000 PSI. CONTINUOUS BEAMS OR BEAMS CANTILEVERING OVER SUPPORTS SHALL HAVE THE SPECIFIED MINIMUM PROPERTIES TOP AND BOTTOM. ALL BEAMS SHALL BE FABRICATED USING WATERPROOF GLUE. FABRICATION AND HANDLING PER LATEST AITC AND WCLA STANDARDS. BEAM TO BEAR GRADE STAMP AND AITC STAMP AND CERTIFICATE. CAMBER AS SHOWN ON DRAWINGS. STRUCTURAL GLUED-LAMINATED TIMBER SHALL CONFORM TO AITC A190.1 AND ASTM D 3737.

WOOD:

LUMBER SHALL CONFORM TO DOC PS 20. MANUFACTURED LUMBER SHALL BE AS SPECIFIED ON THE PLAN SET. DESIGN OF THE MANUFACTURED LUMBER IS THE RESPONSIBILITY OF THE SUPPLIER.

JOISTS:	WOOD TYPE:
2X4	H.F. #2
2X6 OR LARGER	H.F. #2
BEAMS:	
WIDTH 4" OR LESS	D.F. #2
WIDTH GREATER THAN 4"	D.F. #2
LEDGERS AND TOP PLATES:	H.F. #2
STUDS:	
2X4	H.F. #2
2X6 OR LARGER	H.F. #2
POSTS:	
4X4	H.F. #2
4X6 OR LARGER	D.F. #2
6X6 OR LARGER	D.F. #2

CONNECTORS:

METAL CONNECTORS, ANCHORS, AND FASTENERS WILL CORRODE AND LOSE LOAD CARRYING CAPACITY WHEN INSTALLED IN CORROSIVE ENVIRONMENTS OR EXPOSED TO CORROSIVE MATERIALS. THERE ARE MANY ENVIRONMENTS AND MATERIALS WHICH MAY CAUSE CORROSION INCLUDING: OCEAN SALT WATER, PRESERVATIVE-TREATED WOOD, FUMES, FIRE-RETARDANTS, DISSIMILAR METALS, FERTILIZERS.

PLYWOOD

ALL PLYWOOD SHALL BE AMERICAN PLYWOOD ASSOCIATION CDX-RATED SHEATHING OR BETTER, AND SHALL BEAR THE STAMP OF AN APPROVED TESTING AGENCY. LAY UP PLYWOOD WITH FACE GRAIN PERPENDICULAR TO SUPPORTS (ON ROOFS WHERE PLYWOOD IS LAID UP WITH FACE GRAIN PARALLEL TO SUPPORTS, USE MINIMUM OF 5-PLY PLYWOOD). STAGGER JOINTS. ALL NAILING SHALL BE WITH COMMON NAILS. WHERE SCREWS ARE INDICATED FOR WOOD-TO-WOOD ATTACHMENTS, USE WOOD SCREWS MEETING THE REQUIREMENTS OF A.N.S.I/A.S.M.E. B18.6.1 OF GRADE ASTM A584, GRADE 1013 TO 1022 STEEL (FY=193,600PSI). HORIZONTAL DIAPHRAGM AND SHEARWALL CAPACITIES SHALL BE PER THE LATEST EDITION OF I.C.C. REPOST ESR-1539. ALL PLYWOOD SHALL BE OF THE FOLLOWING NORMAL THICKNESS, SHALL HAVE THE FOLLOWING SPAN/INDEX RATIO, AND SHALL BE ATTACHED AS FOLLOWS, UNLESS OTHERWISE NOTED.

USE:	THICKNESS	SPAN/INDEX	EDGE	INTERMEDIATE
		RATIO	ATTACHMENT	ATTACHMENT
ROOF	1/2"	32/16	8d NAILS	8d NAILS
			@ 6" O.C.	@ 12" O.C.
FLOOR	3/4" T&G	40/20	SCREWS @	SCREWS @
			6" O.C.	12" O.C.
SHEAR	1/2"	24/0	8d NAILS	8d NAILS
WALL			@ 6" O.C.	@ 12" O.C.

SCREWS AT FLOOR SHEATHING SHALL BE #8 x 2½" LONG FOR SHEATHING LESS THAN 1" NORMAL THICKNESS, AND SHALL HAVE CURRENT I.C.C. APPROVAL AS A REPLACEMENT FOR 10d NAILS IN WOOD PANEL DIAPHRAGMS. SCREWS PER I.C.C. ER-5280 OR APPROVAL EQUAL. ALL FLOOR SHEATHING SHALL BE GLUED TO SUPPORT MEMBERS WITH AN A.P.A. AFG-01 OR ASTM D3498 QUALIFIED GLUE IN ACCORDANCE WITH A.P.A. FORM E30.

ALTERNATE SHEATHING

AMERICAN PLYWOOD ASSOCIATION PERFORMANCE RATED SHEATHING MAY BE USED AS AN ALTERNATE TO PLYWOOD WITH PRIOR APPROVAL OF OWNER, ARCHITECT AND ROOFING CONTRACTOR. RATED SHEATHING SHALL COMPLY WITH I.C.C. ESR-1301, EXPOSURE 1, AND SHALL HAVE A SPAN RATING AND SHEAR VALUE EQUIVALENT TO OR BETTER THAN THE PLYWOOD IT REPLACES. ATTACHMENT AND THICKNESS (WITHIN 17)") SHALL BE THE SAME AS THE PLYWOOD IT REPLACES. INSTALL PLYWOOD PER MANUFACTURES RECOMMENDATIONS.

PROTECTION AGAINST DECAY (2304.11):

PRESERVATIVE-TREATED WOOD SHALL CONFORM TO APPLICABLE AWPA STANDARDS. TRUSSES, TRUSS DRAWINGS AND TRUSS ENGINEERING SHALL BE PROVIDED BY THE MANUFACTURER. WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR WITHOUT JOISTS SHALL NOT BE CLOSER THAN 18 INCHES, OR WOOD GIRDERS CLOSER THAN 12 INCHES TO THE EXPOSED GROUND IN CRAWL SPACES. WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, WHICH REST ON EXTERIOR FOUNDATION WALLS SHALL NOT BE LESS THAN 8 INCHES FROM EXPOSED EARTH. SILLS IN CONTACT WITH CONCRETE SHALL BE PRESERVATIVE-TREATED WOOD, CLEARANCE BETWEEN WOOD SIDING AND EARTH SHALL NOT BE LESS THAN 6 INCHES. POSTS SHALL BE PRESERVATIVE-TREATED UNLESS SUPPORTED BY A PEDESTAL GREATER THAN 8 INCHES FROM EXPOSED GROUND. AS A MINIMUM CONTRACTORS SHALL USE SIMPSON ZMAX GALVANIZED FASTENERS OR AN APPROVED BARRIER WHEN A CORROSIVE ENVIRONMENT EXISTS.

SHOP DRAWINGS

SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL STRUCTURAL ITEMS IN ADDITION TO ITEMS REQUIRED BY ARCHITECTURAL SPECIFICATIONS.

THE CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMITTAL. ITEMS ARE NOT IN ACCORDANCE WITH CONTRACT DOCUMENTS SHALL BE FLAGGED UPON CONTRACTOR'S REVIEW.

VERIFY ALL DIMENSIONS WITH ARCHITECT

ANY CHANGES, SUBSTITUTIONS, OR DRAWINGS FROM CONTRACT DOCUMENTS SHALL BE CLOUDED BY MANUFACTURER OR FABRICATOR. ANY OF THE AFOREMENTIONED WHICH ARE NOT CLOUDED OR FLAGGED BY SUBMITTING PARTIES SHALL NOT BE CONSIDERED APPROVED AFTER ENGINEER'S REVIEW, UNLESS NOTED ACCORDINGLY.

THE ENGINEER HAS THE RIGHT TO APPROVE OR DISAPPROVE ANY CHANGES TO CONTRACT DOCUMENTS AT ANY TIME BEFORE OR AFTER SHOP DRAWING

THE SHOP DRAWINGS DO NOT REPLACE THE CONTRACT DOCUMENTS. ITEMS OMITTED OR SHOWN INCORRECTLY AND NOT FLAGGED BY THE STRUCTURAL ENGINEER OR ARCHITECT SHALL NOT BE CONSIDERED CHANGES TO CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE ITEMS ITEMS ARE CONSTRUCTED TO CONTRACT DOCUMENTS.

THE ADEQUACY OF ENGINEERING DESIGNS AND LAYOUT PERFORMED BY OTHERS RESTS WITH THE DESIGNING OR SUBMITTING AUTHORITY.

REVIEW BY THE E.O.R. IS INTENDED ONLY AS AN AID TO THE CONTRACTOR IN OBTAINING CORRECT SHOP DRAWINGS. RESPONSIBILITY FOR CORRECTNESS SHALL REST WITH THE CONTRACTOR.

	LONG
ABBREVIAT	<u>IONS</u>
B C	AGGREGATE BASE COURSE
	ABOVE FINISHED FLOOR
LT	
.B	
M	
	BELOW FINISHED FLOOR
	BOTTOM OF BEAM
	BOTTOM OF DECK
	BOTTOM OF FOOTING
	BOTTOM OF PLATE
	BOTTOM OF STEEL
RG	
I.P	
L	
	CENTERLINE OF BEAM
	CENTERLINE OF COLUMN
	CENTERLINE OF FOOTING
	CENTER LINE OF WALL
LR	
ONC	
	CONCRETE CONTROL JOINT
	CONCRETE SAWCUT JOINT
	CONCRETE MASONRY UNIT
ONN	
ONT	CONTINUOUS
.L	DEAD LOAD
IA	DIAMETER
N	DOWN
WG(S)	DRAWING(S)
O.S	EDGE OF SLAB
Ĺ	ELEVATION
Q	
QUIP	EQUIPMENT
	EXPANSION BOLT
	EXPANSION JOINT
W	
	FINISHED FLOOR
	FACE OF MEMBER
O.S	
O.W	
A	
AT X/	CALVANIZED

..GALVANIZED GALV.

GLB (GLULAM).GLUE-LAMINATED BEAM ..HOLLOW CORE HORIZ. ..HORIZONTAL I.F.W. ..INSIDE FACE OF WALL ...INVERT ELEVATION

K (KIP). ...1000 POUNDS L.LLIVE LOAD LBS (#). ...POUNDS ...LONG LEG HORIZONTAL L.L.H. ...LONG LEG VERTICAL L.L.V ..

MFR('S). ...MANUFACTURE('S) MAS. C.J ...MASONRY CONTROL JOINT MECH'L ...MECHANICAL N/ANOT APPLICABLE ...NOT TO SCALE N.T.S ..

O.CON CENTER O.F.W ...OUTSIDE FACE OF WALL OPPOPPOSITE ...PRE CAST CONCRETE

...POUNDS PER LINEAR FOOT P.L.F ... PREFAB. ...PREFABRICATED ...POUNDS PER SQUARE FOOT P.S.IPOUNDS PER SQUARE INCH

REINF. ..REINFORCING SHORT LEG HORIZONTAL S.L.V SHORT LEG VERTICAL SIM ..SIMILAR

..SQUARE ...STANDARD STD. ..TOTAL LENGTH T.L ... T.O.B .TOP OF BEAM T.O.D ..TOP OF DECK T.O.F. .TOP OF FOOTING

T.O.G ..TOP OF GRADE T.O.L. ..TOP OF LEDGER T.O.M. ..TOP OF MASONR T.O.P. ..TOP OF PLATE T.O.S. ..TOP OF STEEL

T.O.W ..TOP OF WALL ..TYPICAL TYP .. U.N.O. ...UNLESS NOTED OTHERWISE

VERT ...VERTICAL WTSP ...WATERSTOP

W.W.R. ...WELDED WIRE REINFORCEMENT

SPECIAL INSPECTIONS

THE FOLLOWING SPECIAL INSPECTIONS ARE REQUIRED PER CHAPTER 17 OF THE 2018 INTERNATIONAL BUILDING CODE TO BE PERFORMED BY AN INDEPENDENT THIRD PARTY INSPECTION.

ANCHORAGE

WELDING

1) PERIODIC INSPECTION OF POST INSTALLED (EPOXY) ANCHORAGE FOR USE WITH HOLDOWNS AND TENSION APPLICATIONS.

CONCRETE

1) VERIFICATION OF HIGH STRENGTH ANCHORAGE PRIOR TO POUR. 2) VERIFICATION OF CONCRETE STRENGTH >2500psi

WELDING

1) PERIODIC VISUAL INSPECTION OF FIELD WELDING

STRUCTURAL STEEL

1) STRUCTURAL TUBING IS TO BE ASTM A500 GRADE B (FY=46 KSI) 2) STRUCTURAL WIDE FLANGE SHAPES ARE TO BE ASTM A992 GRADE 50 (FY=50

3) STRUCTURAL PIPE IS TO BE ASTM A53 GRADE B (FY=35 KSI)

4) LIGHT GAUGE STRUCTURAL STEEL SHALL USE A570 FY=50 KSI 5) LIGHT GAUGE FRAMING MEMBERS SHALL CONFORM TO AISIS240

6) LIGHT GAUGE STEEL SHALL BE 50 KSI MINIMUM (FY=50 KSI)

WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS D1.1 AND APPROVED BY THE ENGINEER OF RECORD. WELD FILLER FOR THIS PROJECT MUST MEET REQUIREMENTS FOR AN ORDINARY MOMENT FRAME CONSTRUCTION INCLUDING THE FOLLOWING:

1) WELD FILLER SHALL BE E70XX (FY=70 KSI)

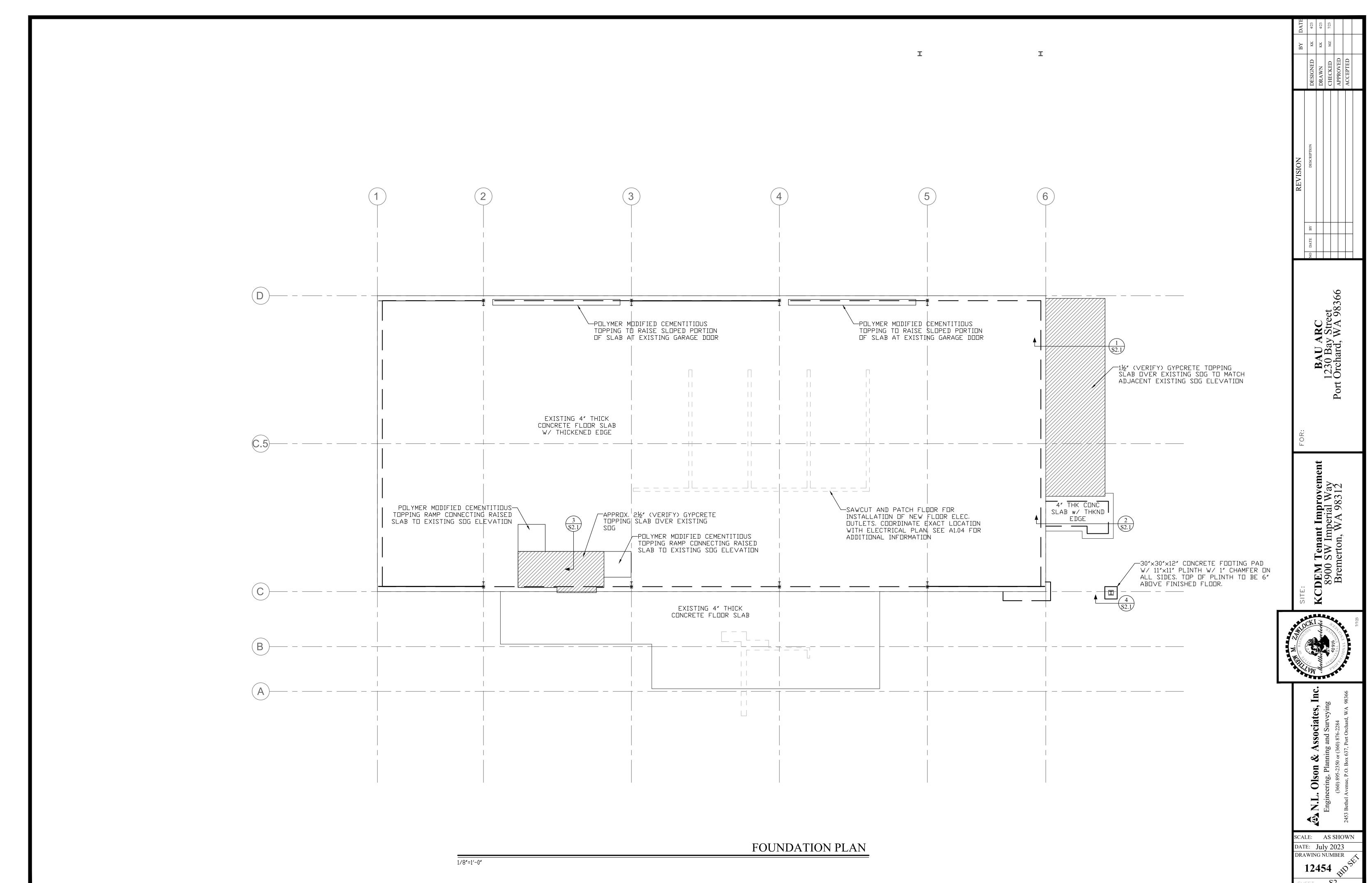
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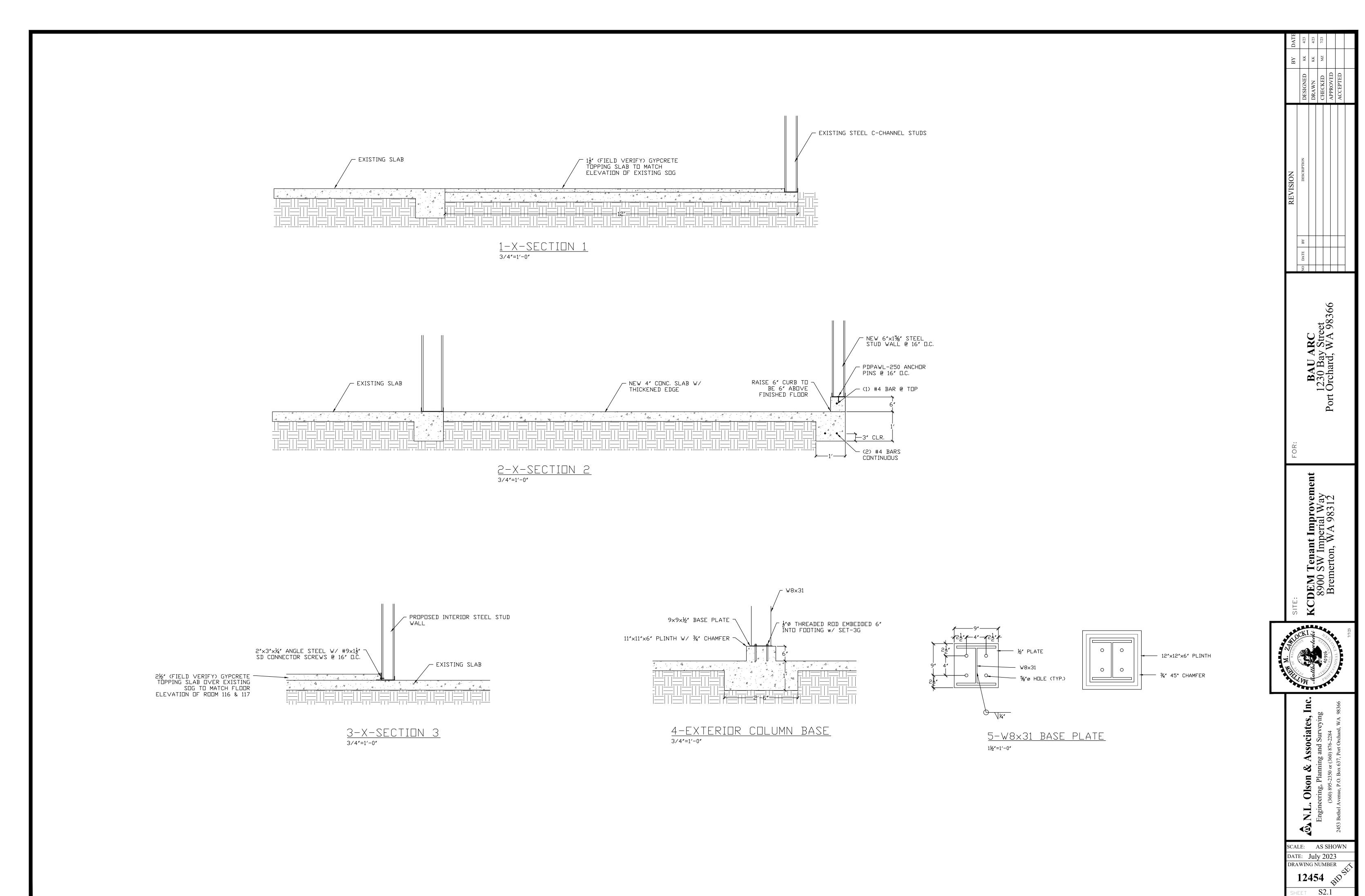
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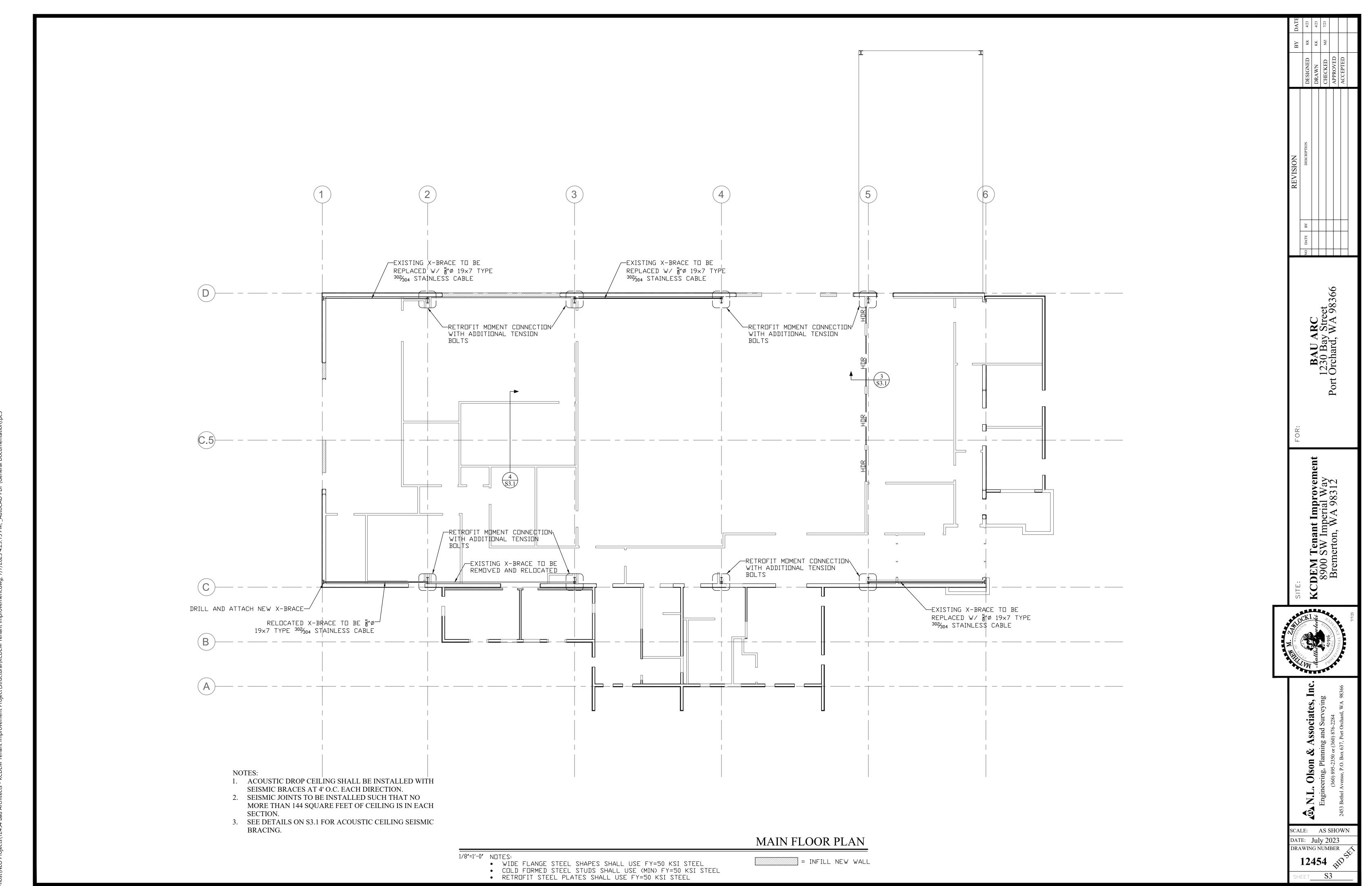
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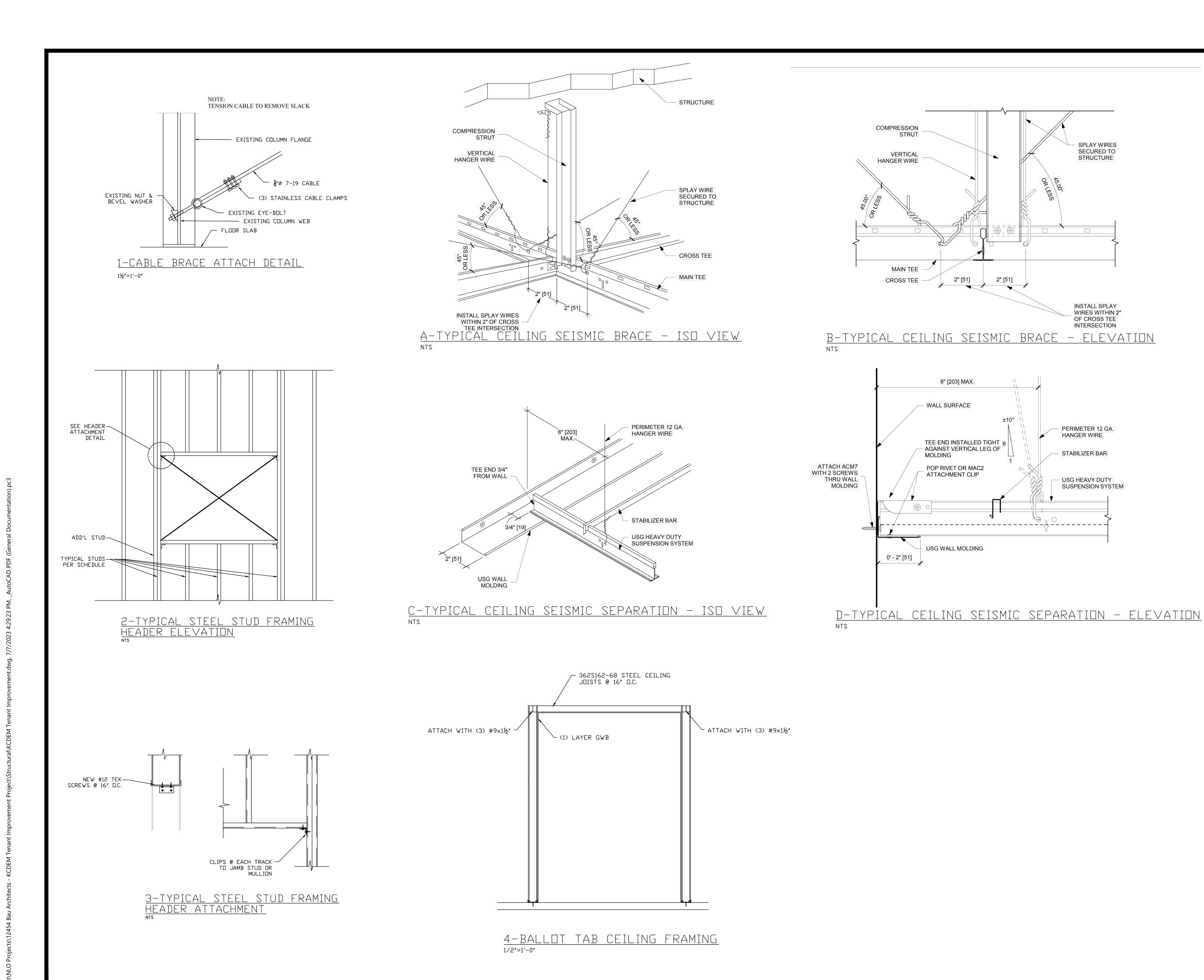


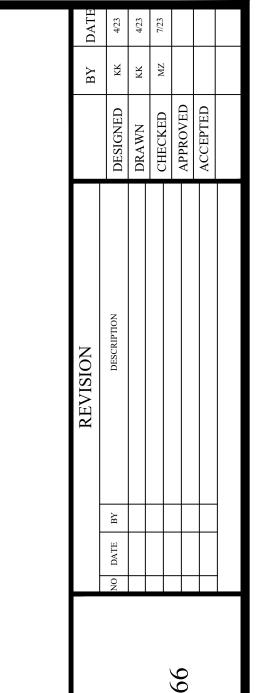
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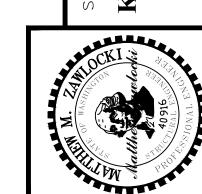
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BAU ARC 1230 Bay Street Port Orchard, WA 98366

KCDEM Tenant Improvement 8900 SW Imperial Way Bremerton, WA 98312



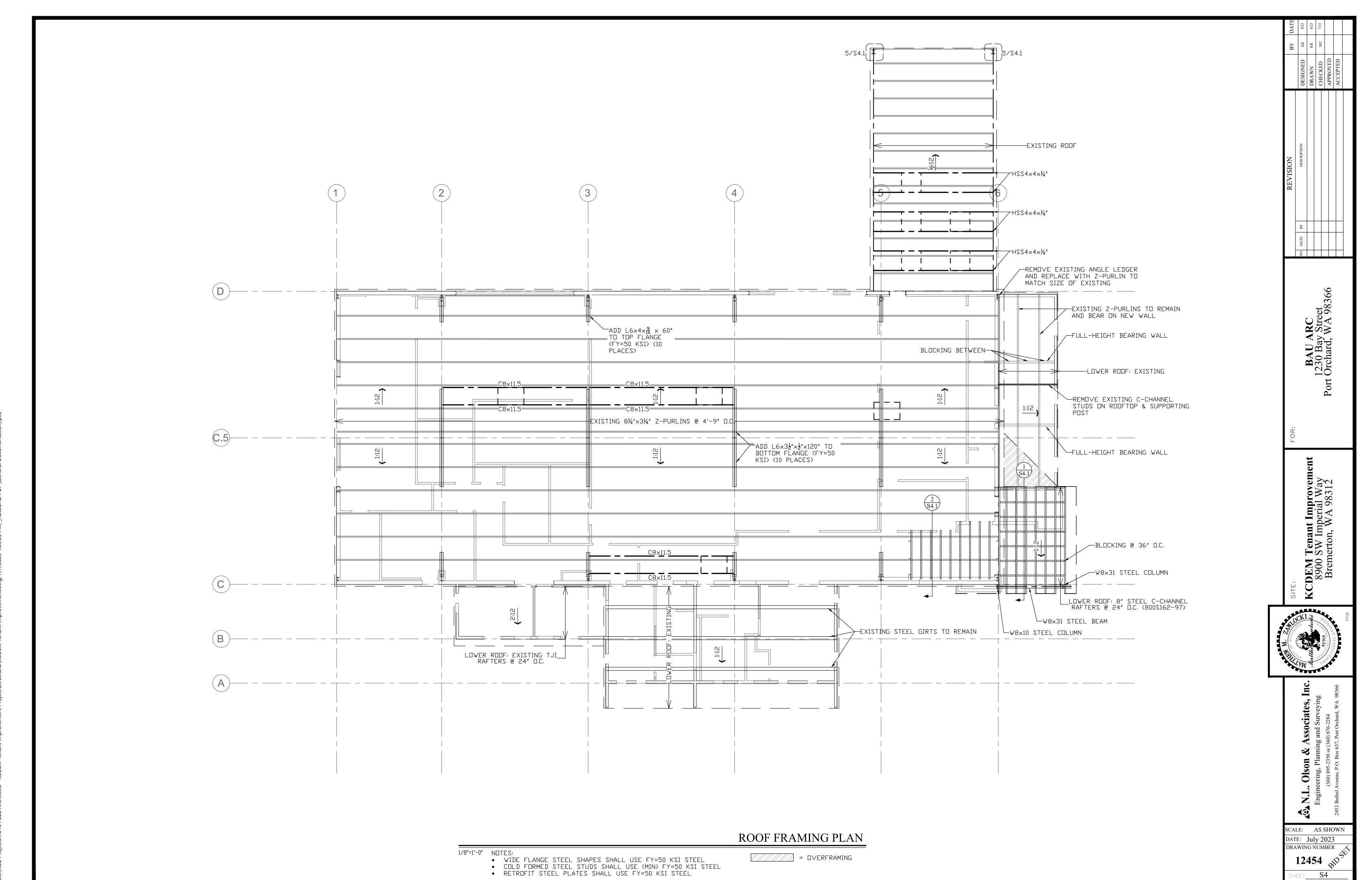
ANL. Olson & Associates, Inc.
Engineering, Planning and Surveying
(360) 895-2350 or (360) 876-2284
2453 Bethel Avenue, P.O. Box 637, Port Orchard, WA 98366

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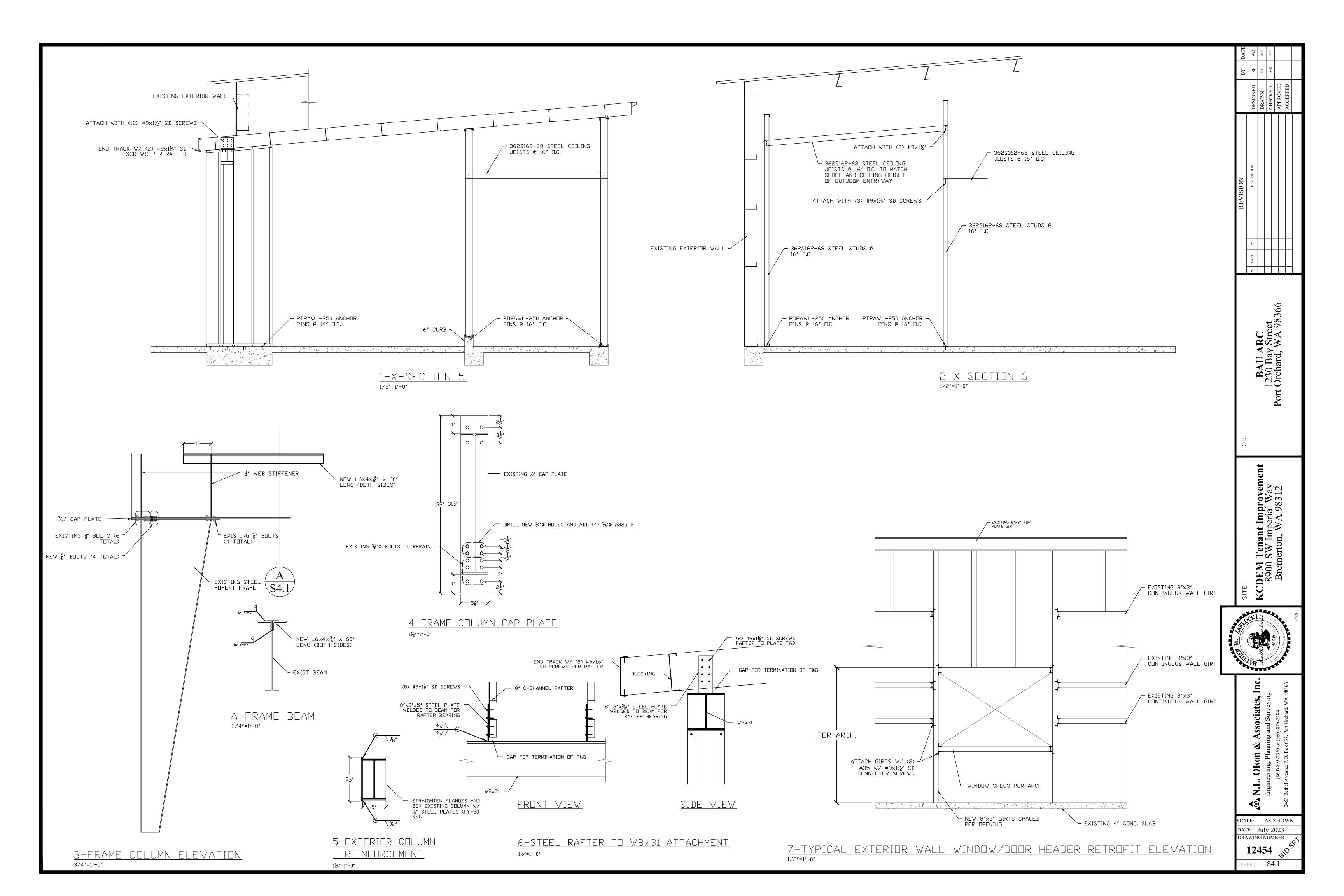
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GENERAL MECHANICAL NOTES

- . WHERE USED, THE TERM "PROVIDE" SHALL MEAN "FURNISH AND INSTALL".
- DRAWINGS ARE DIAGRAMMATIC IN NATURE AND REPRESENT THE GENERAL SCOPE OF WORK. REVIEW THE SPECIFICATIONS AND PLANS FOR ADDITIONAL REQUIREMENTS. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO SUBMISSION OF BID.
- 3. MECHANICAL CONTRACTOR SHALL NOT SCALE FLOOR PLANS FOR EXACT HORIZONTAL LOCATION OF PIPE ROUTING.
- 4. PLANS AND SPECIFICATIONS GOVERN WHERE THEY EXCEED CODE REQUIREMENTS.
- COORDINATE LOCATIONS OF ALL CEILING-MOUNTED EQUIPMENT WITH SPRINKLER PLANS, LIGHTING PLANS, LOW VOLTAGE PLANS, AND ALL TRADES' CEILING-MOUNTED DEVICES.
- COORDINATE BELOW GRADE PIPING INSTALLATION WITH STRUCTURAL GRADE BEAMS, FOOTINGS, COLUMN PIERS, ETC. SLEEVE PIPING THROUGH GRADE BEAMS, FOOTINGS, ETC. WHERE REQUIRED AND AS NOTED ON PLANS. COORDINATE SLEEVE INSTALLATIONS WITH THE ARCHITECT, STRUCTURAL ENGINEER, STRUCTURAL CONTRACTOR. AND GENERAL CONTRACTOR BEFORE CONCRETE IS INSTALLED.
- 7. COORDINATE PIPE ROUTING AWAY FROM ELECTRICAL PANELS. DO NOT ROUTE PIPING OVER ELECTRICAL PANELS.
- 3. ALL PENETRATIONS OF FLOOR/CEILING ASSEMBLIES SHALL BE FIRE STOPPED IN ACCORDANCE WITH ALL APPLICABLE CODES.
- NO SUPPORT OF DUCTWORK, PIPING, OR EQUIPMENT IS ALLOWED FROM THE ROOF DECKING. PROVIDE BRIDGING AND SUPPORTS AS REQUIRED.
- 10. FOR ALL EQUIPMENT, MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION.
- 11. REFER TO TYPICAL DETAILS PROVIDED IN THIS DRAWING SET FOR DUCTWORK, PIPING, AND EQUIPMENT INSTALLATION. CONTRACTOR IS RESPONSIBLE FOR CONFORMANCE WITH DETAILS.
- 12. A SHORT DASH IN A SCHEDULE TABLE CELL INDICATES THAT THE COLUMN HEADING IS NOT USED OR NOT APPLICABLE TO THAT SCHEDULED ITEM.
- 13. ALL DUCTWORK AND PIPING IN FINISHED ROOMS OR SPACES SHALL BE CONCEALED IN A FURRED CHASE OR ABOVE THE HARD SUSPENDED CEILING UNLESS NOTED OTHERWISE.
- 14. WHERE NECESSARY, ANY EXPOSED PIPING SHALL BE ROUTED AS HIGH AS POSSIBLE, TIGHT TO WALLS, AND PARALLEL OR PERPENDICULAR TO STRUCTURAL AND ARCHITECTURAL ELEMENTS.
- 5. FOR EQUIPMENT ABOVE ACCESSIBLE CEILINGS, INSTALL TAG ON CEILING GRID FRAME TO INDICATE LOCATION AND TYPE OF EQUIPMENT THAT REQUIRES MAINTENANCE.
- 16. PIPES ABOVE CEILING ARE TO BE ROUTED 2 FEET ABOVE THE CEILING FOR EASE OF MAINTENANCE.
- 17. THE FIRST FIGURE OF DUCT SIZE CALLOUTS INDICATES DIMENSION OF FACE SHOWN OR INDICATED.
- 18. DUCT SIZES NOT SHOWN SHALL BE SIZED TO VELOCITIES NO GREATER THAN UPSTREAM SECTIONS USING SIMILAR ASPECT RATIOS.
- 19. AIR TERMINAL SIZES SHOWN ON PLANS ARE NECK SIZES. PROVIDE ADDITIONAL PANS, HARDWARE, ETC. REQUIRED TO INSTALL AIR TERMINAL IN CEILING SYSTEM.
- 20. DUCTWORK SHALL BE LOW PRESSURE CLASS (2 INCH PRESSURE CLASS) EXCEPT WHERE NOTED BELOW.
- 21. ALL SUPPLY AIR TAKEOFFS FROM MAIN TRUNK DUCTS SHALL BE INSTALLED WITH BELLMOUTH FITTINGS OR 45 DEGREE ENTRIES TO PROVIDE THE SMOOTHEST AIRFLOW POSSIBLE.
- 22. A 5'-0" MAXIMUM LENGTH OF INSULATED FLEXIBLE DUCT SHALL BE PROVIDED TO EACH AIR SUPPLY OUTLET.
- 23. FINAL THERMOSTAT LOCATIONS SHALL BE AWAY FROM EXTERIOR WALLS AND HEAT PRODUCING EQUIPMENT AND APPROVED BY ARCHITECT OR OWNER.
- 24. PROVIDE MANUAL VOLUME DAMPER FOR EACH DIFFUSER, REGISTER, AND GRILLE.
- 25. ALL PRESSURES LISTED ARE GAGE PRESSURES UNLESS NOTED OTHERWISE.
- 26. FIELD ROUTE CONDENSATE DRAINAGE PIPING FROM EQUIPMENT TO NEAREST DRAIN LOCATION (SUCH AS SERVICE SINK, FUNNEL DRAIN, ETC.). SLOPE NON-PRESSURIZED DRAIN PIPING TO DRAIN LOCATION. MINIMUM PIPE SIZE SHALL BE 3/4". INCREASE PIPE SIZE WHERE APPLICABLE PER IMC 307.2.2.
- 27. SIZE REFRIGERANT PIPING ON SPLIT SYSTEM UNITS PER MANUFACTURER'S RECOMMENDATIONS.
- 28. VALVES SHALL BE INSTALLED SO THAT SYSTEM REMAINS IN SERVICE WHEN EQUIPMENT OR PIPING ON EQUIPMENT SIDE OF VALVE IS REMOVED. VALVES (EXCEPT CONTROL VALVES) AND STRAINERS SHALL BE FULL SIZE OF PIPE BEFORE REDUCING SIZE TO MAKE CONNECTIONS TO EQUIPMENT AND CONTROLS.
- 29. PROVIDE UNIONS AND/OR FLANGES AT EACH PIECE OF EQUIPMENT, IN BYPASSES, AND IN LONG PIPING RUNS (100 FEET OR MORE) TO PERMIT DISASSEMBLY FOR ALTERATION AND REPAIRS.

- 30. VALVES, EXPANSION FITTINGS/LOOPS, AND PIPING SPECIALTIES SHALL BE FULL SIZE OF PIPE UNLESS NOTED OTHERWISE.
- 31. VIBRATION ELIMINATORS SHALL BE INSTALLED ON ALL CEILING HUNG EQUIPMENT.
- 32. BALANCE ALL DIFFUSERS TO CFM VALUES SHOWN.
- 33. ALL EQUIPMENT SHALL HAVE A UL LISTING.
- 34. DISCHARGE TEMPERATURE OF PUBLIC LAVATORIES SHALL BE 105 DEGREES FAHRENHEIT.
- 35. MAXIMUM HOT WATER PIPE DIAMETER FROM MAIN TO LAVATORY SHALL BE NO MORE THAN 1/2". MAXIMUM LENGTH AT THIS SIZE SHALL NOT EXCEED 2'.
- 36. FOR VENTS, MAINTAIN 10' MINIMUM CLEARANCE FROM ALL AIR INTAKES. MAINTAIN 2' CLEARANCE FROM ALL OTHER EQUIPMENT.
- 37. EXPOSED HOT WATER PIPES AND DRAIN PIPES UNDER HANDICAPPED ACCESSIBLE LAVATORIES SHALL BE CONFIGURED OR INSULATED TO PROTECT AGAINST CONTACT.
- 38. REDUCED PRESSURE ZONE (RPZ) SHALL BE INSTALLED IN THE POTABLE WATER SUPPLY TO EACH LOCATION WHERE SANITIZING CHEMICALS OR DETERGENTS WILL BE ASPIRATED OR PUSHED BY WATER PRESSURE INTO CLEANSING/SANITIZING OPERATION.
- 39. ALL RPZ ASSEMBLIES SHALL BE TESTED AND APPROVED BY A CROSS CONNECTION CONTROL DEVICE INSPECTOR BEFORE INITIAL OPERATION. RECORDS TO VERIFY THIS TESTING SHALL BE AVAILABLE ON SITE.
- 40. ALL DRY VENTS SHALL RISE VERTICALLY TO A MINIMUM OF 6" ABOVE THE FLOOD LEVEL RIM OF THE HIGHEST TRAP OR TRAPPED FIXTURE BEING VENTED.
- 41. IN SOME INSTANCES, BACK-TO-BACK FIXTURES ARE SHOWN WITH ONE WASTE CONNECTION. CONTRACTOR SHALL PROVIDE THE REQUIRED FITTINGS TO CONNECT THE BACK-TO-BACK FIXTURES TO WASTE CONNECTION AS REQUIRED.
- 42. PROVIDE SANITARY WASTE CLEANOUTS IN WALL EVERY 100 FEET.
- 43. PIPING LOCATED IN AIR PLENUMS SHALL CONFORM TO NFPA 90A REQUIREMENTS.
- 44. ALL SANITARY WASTE PIPING SHALL BE SLOPED AT 1/4" PER FOOT UNLESS NOTED OTHERWISE.
- 45. FIRE CAULK ALL PIPE PENETRATIONS THROUGH CORRIDOR WALLS.
- 46. HANGERS AND SEISMIC BRACING FOR THE MECHANICAL SYSTEMS SHALL BE DESIGNED AND PROVIDED BY THE MECHANICAL CONTRACTOR. REFER TO CONTRACTOR SHOP DRAWINGS FOR LOCATIONS OF EQUIPMENT AND HUNG MECHANICAL SYSTEMS. THE MECHANICAL CONTRACTOR SHALL COORDINATE THE SUPPORT SYSTEMS AND DESIGN LOADS FOR HUNG MECHANICAL SYSTEMS WITH THE GENERAL CONTRACTOR AND OTHER TRADES THAT MAY BE IMPACTED.
- 47. PROVIDE MISCELLANEOUS STEEL REQUIRED TO ENSURE PROPER INSTALLATION OF MECHANICAL SYSTEMS.

MECHANICAL DEMOLITION NOTES

- 1. FOR DEMOLITION SCOPE SHOWN, CONTRACTOR SHALL REMOVE ALL DUCTWORK, PIPING, AND EQUIPMENT INCLUDING ALL ASSOCIATED INSULATION, HANGERS, VALVES, PLENUM WALLS, DAMPERS, WIREMOLD, WIRING, CONTROLS, AND APPURTENANCES ASSOCIATED WITH EACH PIECE OF EQUIPMENT.
- 2. REMOVE ALL ABANDONED DUCTWORK, PIPING, CONTROLS, WIRING, ETC. WHERE ACCESSIBLE IN RENOVATED AREAS.
- 3. WHERE CONTROLS ARE DEMOLISHED, REMOVE WIRING BACK TO NEAREST CONTROL PANEL OR JUNCTION BOX. REMOVE ACCESSIBLE CONDUIT, JUNCTION BOXES, ETC.
- 4. CONTRACTOR SHALL PERFORM DEMOLITION IN NEAT AND SKILLFUL MANNER SO AS NOT TO DAMAGE OR DEFACE ANY CONSTRUCTION THAT IS TO REMAIN.
- 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INCLUDE ALL COSTS ASSOCIATED WITH NECESSARY DEMOLITION TO ALLOW NEW CONSTRUCTION SHOWN IN CONTRACT DOCUMENTS.
- EXISTING MATERIALS THAT ARE REMOVED SHALL NOT BE REUSED IN NEW SYSTEMS, EXCEPT WHERE INDICATED AS BEING RELOCATED.

	MECHAN	IICAL LEG	JENU
		HVAC	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
\boxtimes	SUPPLY DUCT UP		FLEXIBLE DUCT
×	SUPPLY DUCT DOWN		VOLUME DAMPER (VD)
	RETURN, RELIEF, TRANSFER, OSA DUCT UP		MOTORIZED DAMPER
	RETURN, RELIEF, TRANSFER, OSA DUCT DOWN	12 X 12 CD 300 CFM	AIR TERMINAL SIZE, TYPE & CFM
	EXHAUST DUCT UP	X/X	SQUARE DUCT
\angle	EXHAUST DUCT DOWN		FLEXIBLE CONNECTION (DUCT)
	RECTANGULAR DUCT SQUARE ELBOW UP		TURNING VANES (TV)
	RECTANGULAR DUCT, RADIUS ELBOW UP	<u> </u>	BACKDRAFT DAMPER (BD)
<u> </u>	RECTANGULAR DUCT, SQUARE ELBOW DOWN	T	THERMOSTAT (T'STAT)
	RECTANGULAR DUCT, RADIUS ELBOW DOWN	PS	SPACE PRESSURE SENSOR
	ROUND DUCT ELBOW UP	C02	CARBON DIOXIDE SENSOR
CI	ROUND DUCT ELBOW DOWN	XØ	ROUND DUCT
	CEILING AIR TERMINAL - SQUARE		EQUIPMENT ACCESS AREA
	Р	LUMBING	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
— Е —	EXISTING PIPING	5 5	DOMESTIC COLD WATER (CW)
	GATE VALVE (GV)	5 — – – — 5	DOMESTIC HOT WATER (HW)
	GLOBE VALVE	5	DOMESTIC HOT WATER CIRCULATING (HWC)
<u></u>	PRESSURE REDUCING VALVE (PRV)	5	SOIL, WASTE (S, W)
-	CHECK VALVE (CV)	у- — s	VENT (V), OR HIDDEN BELOW WASTE
• 7	TEMP./PRESS. RELIEF VALVE (T&PRV)	S—COND—S	CONDENSATE PIPING
	BALL VALVE	5	REFRIGERANT PIPING (1)
— 	BALANCING COCK (BC)	0	WASTE OR VENT UP
C+	PIPE DOWN	<u>ਹ</u>	WALL CLEANOUT
O l 	PIPE UP	0	FLUSH CLEANOUT (FCO/SCO)
- i ‡i	BRANCH-TOP CONNECTION	I 5	CLEAN OUT (CO)
121	BRANCH-BOTTOM CONNECTION	\$	IN LINE WASTE CONNECTION
++	BRANCH-SIDE CONNECTION	← →∞	P-TRAP
>	FLOW DIRECTION	5 ICI -5	BRANCH PIPE DOWN
V OR Y	VALVE IN RISER / DROP	5 101 - 5	BRANCH PIPE UP
	PIPE GUIDE	, 1 ∑ 1 →	TEE & UP
	FLEXIBLE CONNECTION (PIPE)	, , , , , , , , , , , , , , , , , , , 	TEE
── ✓	REDUCER	스 소	ELBOWS, 90° & 45°
1>1-5	STRAINER	<u> </u>	CAP
	UNION	<u></u>	PUMP
→ >	DRAIN VALVE		WALL HYDRANT
₹	GAS COCK	₽ [™]	THERMOMETER
MC	MECHANICAL CONTRACTOR	Ø ^P	PRESSURE GAGE
EC	ELECTRICAL CONTRACTOR	0	FLOOR DRAIN (FD)
GC	GENERAL CONTRACTOR	•	FLOOR FUNNEL DRAIN (FFD)
POC	POINT OF CONNECTION	\$ \ \ \ \ \	CROSSING LINES, NON CONNECTING
BFF	BELOW FINISHED FLOOR	5	PIPE CONTINUATION
AFF	ABOVE FINISHED FLOOR		TRAP PRIMER WITH ACCESS PANEL

NOTES FOR MECHANICAL LEGEND SCHEDULE.

(1) SINGLE LINE INDICATED ON PLANS DESIGNATES THE PROPOSED ROUTING FOR THE REFRIGERATION PIPING BETWEEN THE INDOOR AND OUTDOOR UNITS. THAT SINGLE LINE REPRESENTS ALL THE REQUIRED PIPING RUNS REQUIRED FOR THE SYSTEM DESIGNED.

BAU ARC

ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522





TENANT IMPROVEMENT

KCDEM

BID SET

8900 SW IMPER BREMERTON, N

DATE: JULY 07, 2023
BA NO: 2021.03
CHECKED: JH

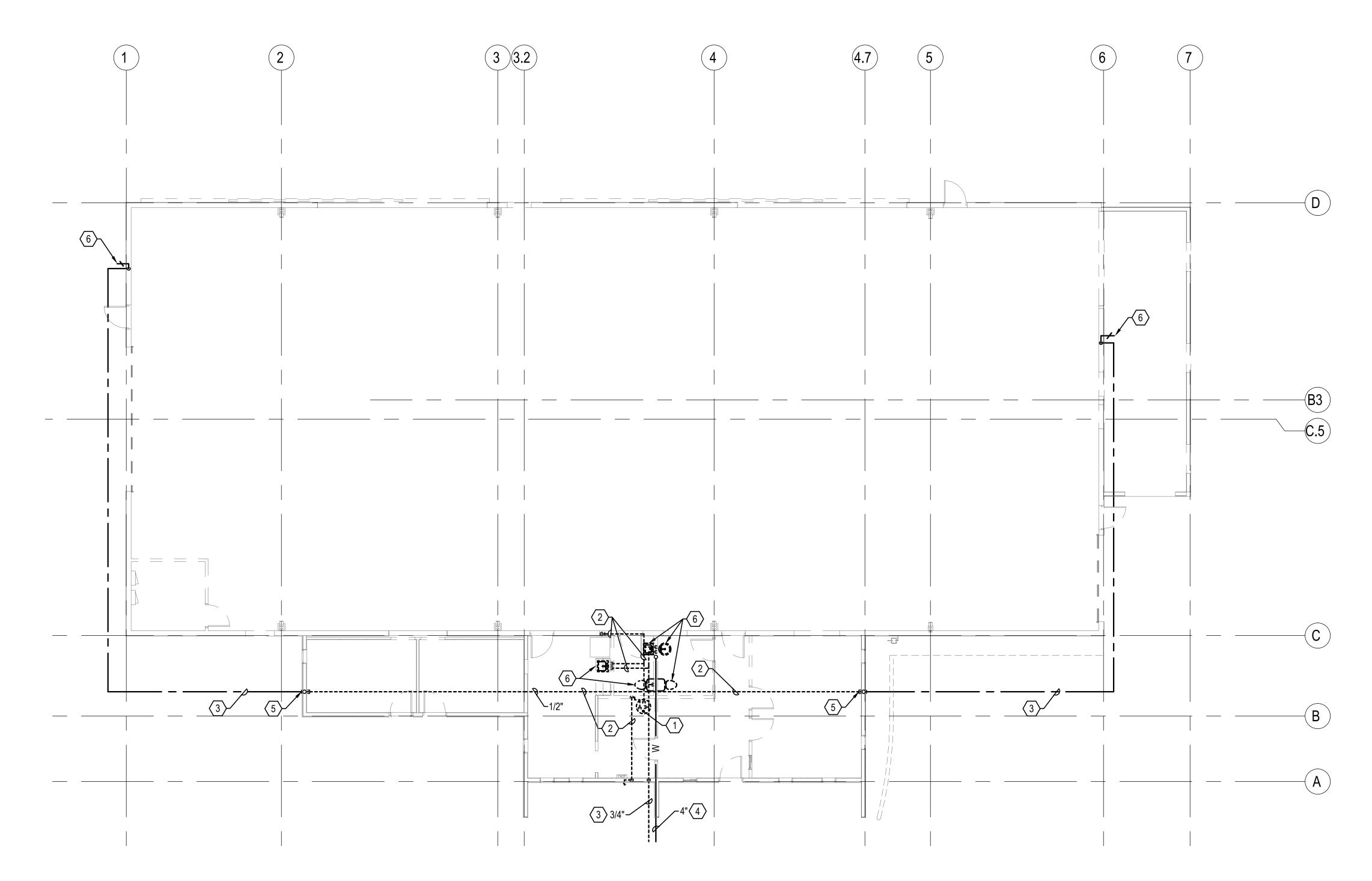
MECHANICAL LEGEND

M0.01

- DRAWING IS DIAGRAMMATIC. CONTRACTOR TO FIELD VERIFY ALL MECHANICAL EQUIPMENT LOCATIONS, SIZES, AND QUANTITIES.
- 2. ITEMS SHOWN DARK AND DASHED ARE TO BE REMOVED DURING DEMOLITION. ITEMS SHOWN LIGHT ARE EXISTING TO REMAIN.
- 3. REPAIR UNUSED FLOOR AND CEILING PENETRATIONS TEXTURE AND PAINT GWB TO MATCH SURROUNDING CONDITIONS.
- 4. REFER TO MECHANICAL DEMOLITION NOTES ON SHEET M0.01

DEMOLITION NOTES

- 1 REMOVE HOT WATER TANK AND ALL APPURTENANCES.
- 2 REMOVE PIPE AND ALL APPURTENANCES.
- ABANDON BELOW GRADE PORTION OF DOMESTIC COLD WATER PIPING IN PLACE. REMOVE ALL ACCESSIBLE SECTIONS.
- (4) RETAIN EXISTING 4" WASTE MAIN IN PLACE FOR RE-USE.
- 5 CAP PIPING.
- 6 REMOVE EXISTING PLUMBING FIXTURE.

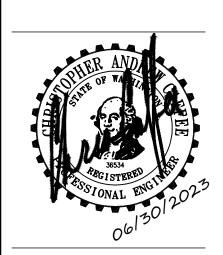


PLUMBING DEMOLITION PLAN
1/8" = 1'-0"

BAU ARC ARCHITECTURE

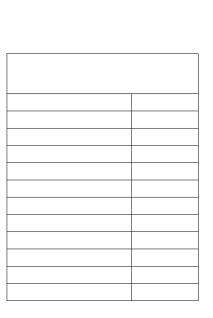
1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522





IMPROVEMENT

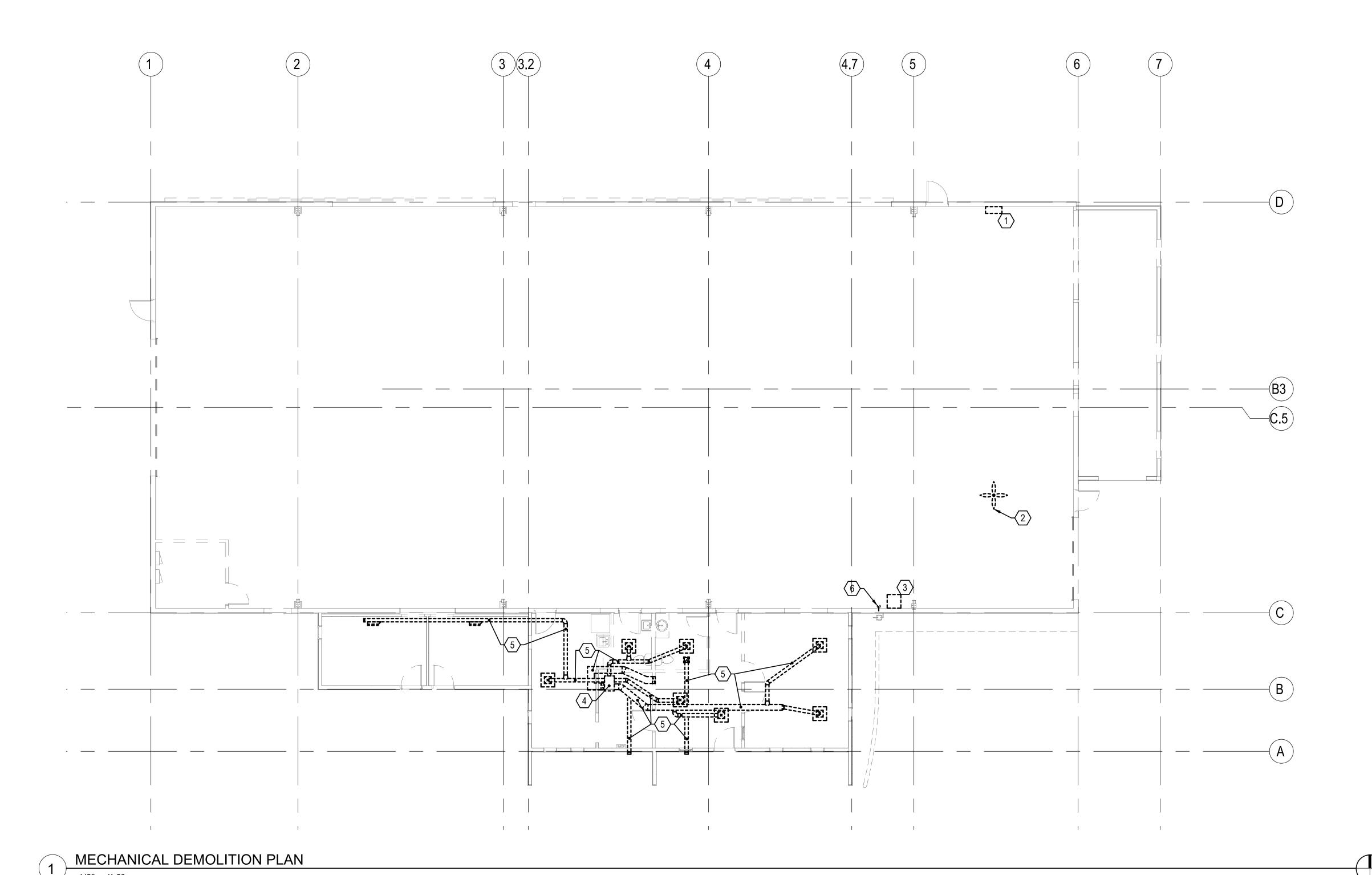
KCDEM TENAR 8900 SW IMPERIAL WA BREMERTON, WA 983



BID SET JULY 07, 2023 2021.03 JH

PLUMBING DEMOLITION PLAN

- 1. DRAWING IS DIAGRAMMATIC. CONTRACTOR TO FIELD VERIFY ALL MECHANICAL EQUIPMENT LOCATIONS, SIZES, AND QUANTITIES.
- 2. ITEMS SHOWN DARK AND DASHED ARE TO BE REMOVED DURING DEMOLITION. ITEMS SHOWN LIGHT ARE EXISTING TO REMAIN.
- 3. REPAIR UNUSED FLOOR AND CEILING PENETRATIONS TEXTURE AND PAINT GWB TO MATCH SURROUNDING CONDITIONS.
- 4. REFER TO MECHANICAL DEMOLITION NOTES ON SHEET M0.01
 - **DEMOLITION NOTES**
- (1) REMOVE EXHAUST FAN AND ALL APPURTENANCES.
- 2 REMOVE CEILING FAN AND ALL APPURTENANCES.
- REMOVE UNIT HEATER AND ASSOCIATED GAS PIPING.
- REMOVE HEAT SYSTEM HEAT PUMP, CONDENSATE PUMP, CONDENSING UNIT ON ROOF ABOVE, AND ALL APPURTENANCES.
- (5) REMOVE DUCTWORK, VOLUME DAMPERS, AND ALL APPURTENANCES.
- 6 REMOVE COMPRESSED AIR PIPE IN ITS ENTIRETY AND ALL APPURTENANCES.



BAU ARC

1230 BAY STREET PORT ORCHARD, WA 98366

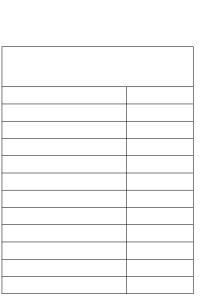
206 406 0522





IT IMPROVEMENT

8900 SW IMPERIAL WAY BREMERTON, WA 98312



BID SET

DATE: JULY 07, 2023
BA NO: 2021.03
CHECKED: JH

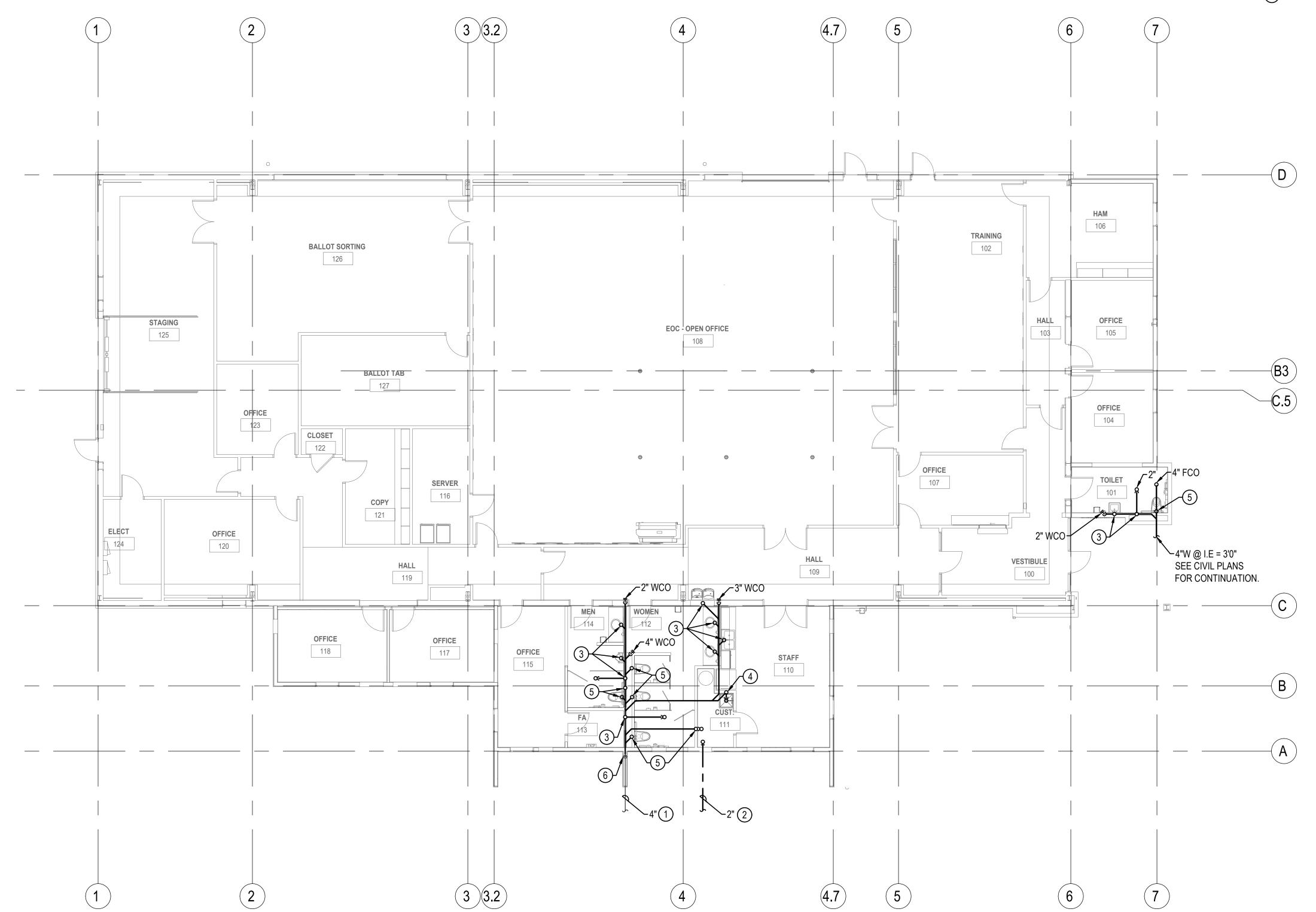
MECHANICAL
DEMOLITION PLAN

MD1.02

- DRAWING IS DIAGRAMMATIC. CONTRACTOR TO FIELD VERIFY ALL MECHANICAL
- EQUIPMENT LOCATIONS, SIZES, AND QUANTITIES.
 4. REFER TO GENERAL MECHANICAL NOTES ON SHEET M0.01

CONSTRUCTION NOTES

- 1) EXISTING 4" WASTE, SEE CIVIL PLANS FOR CONTINUATION.
- 2" DOMESTIC WATER SERVICE. SEE CIVIL PLANS FOR CONTINUATION.
- 3 2' W, 1 1/2" V.
- 4 3' W, 2" V.
- (5) 4' W, 2" V.
- 6 POINT OF CONNECTION BETWEEN NEW AND EXISTING PIPING.



PLUMBING UNDERGROUND PLAN
1/8" = 1'-0"

BAU ARC ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA

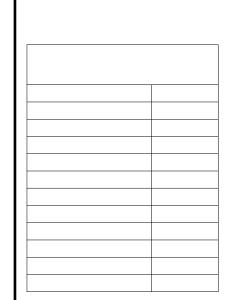
206 406 0522





IMPROVEMENT

KCDEM TENAR 8900 SW IMPERIAL WA BREMERTON, WA 983



BID SET

JULY 07, 2023 2021.03 JH DATE: BA NO: CHECKED:

PLUMBING UNDERGROUND PLAN

GENERAL NOTES

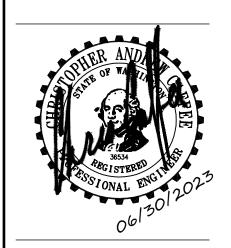
- DRAWING IS DIAGRAMMATIC. CONTRACTOR TO FIELD VERIFY ALL MECHANICAL
- EQUIPMENT LOCATIONS, SIZES, AND QUANTITIES.

 4. REFER TO GENERAL MECHANICAL NOTES ON SHEET M0.01
 - **CONSTRUCTION NOTES**
- 1) ROUTE HOT WATER LOOP DOWN IN WALL WITHIN 6" OF SUPPLY STOP.
- 2 RACK DOMESTIC CW HEADER ON WALL IN THIS LOCATION. SEE DOMESTIC WATER HEADER DETAIL ON SHEET M5.00.
- 3 MOUNT EXPANSION TANK AND CIRCULATION PUMP ON THE WALL.
- 4) SEE HOT WATER TANK PIPING DIAGRAM ON SHEET M5.00.
- 3/4" CONDENSATE. TERMINATE 2" ABOVE MOP SINK FLOOD RIM WITH DOWN-TURNED
- 6 ROUTE CONDENSATE DOWN IN WALL AND CONNECT TO LAVATORY TAIL PIECE.

BAU ARC ARCHITECTURE

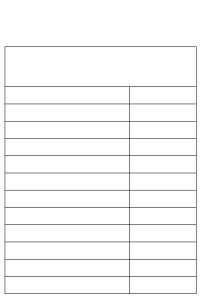
1230 BAY STREET PORT ORCHARD, WA 206 406 0522





IMPROVEMENT

KCDEM TENAR 8900 SW IMPERIAL WA BREMERTON, WA 983



BID SET

JULY 07, 2023 2021.03 JH DATE: BA NO: CHECKED:

PLUMBING FIRST FLOOR PLAN

GENERAL NOTES

1. REFER TO GENERAL MECHANICAL NOTES ON SHEET M0.01

CONSTRUCTION NOTES

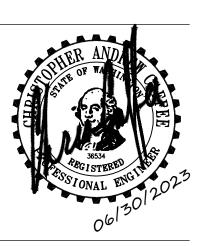
- UP TO DOAU 1, PROVIDE DUCT TRANSITION FITTINGS AS REQUIRED.
- 2 UP TO DOAU 2, PROVIDE DUCT TRANSITION FITTINGS AS REQUIRED.
- 3 UP TO DOAU 3, PROVIDE DUCT TRANSITION FITTINGS AS REQUIRED.
- 4 UP TO DOAU 4, PROVIDE DUCT TRANSITION FITTINGS AS REQUIRED.
- 5 SEE SHEET M1.05 FOR PIPE CONTINUATION.
- 6 SEE TYPICAL EXHAUST FAN INSTALLATION DETAIL ON SHEET M5.01.

B A U ARC

ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522





KCDEM TENANT IMPROVEMENT

REVISION SCHEDULE

BID SET

DATE: JUL7 07, 2023

 DATE:
 JUL7 07, 2023

 BA NO:
 2021.03

 CHECKED:
 JH

HVAC DUCTWORK PLAN

M1.03

REFER TO GENERAL MECHANICAL NOTES ON SHEET M0.01

CONSTRUCTION NOTES

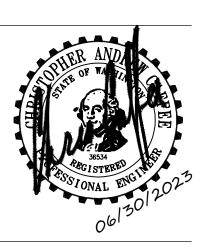
- INTERLOCK THERMOSTAT CONTROL TO EWH-1,2.
- ② SEE WALL MOUNT ELECTRIC UNIT DETAIL ON SHEET M5.01.

BAU ARC

ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522





IMPROVEMENT

KCDEM

REVISION SCHEDULE

BID SET JUL7 07, 2023 2021.03 BA NO:

HVAC REFLECTED **CEILIING PLAN**

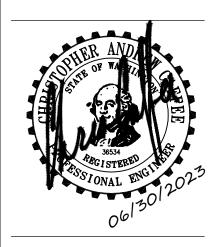
CHECKED:

BAUARC

ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522

6021 12th Street East, Suite 200 Fife, Washington 98424 T: 253.922.0446 F: 253.922.0896



IMPROVEMENT KCDEM TENANT 8900 SW IMPERIAL WAY BREMERTON, WA 98312

REVISION SCHEDULE BID SET

JUL7 07, 2023 2021.03 JH DATE: BA NO: CHECKED:

HVAC ROOF PLAN

M1.05

REFER TO GENERAL MECHANICAL NOTES ON SHEET

BAUARC ARCHITECTURE

> 1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522







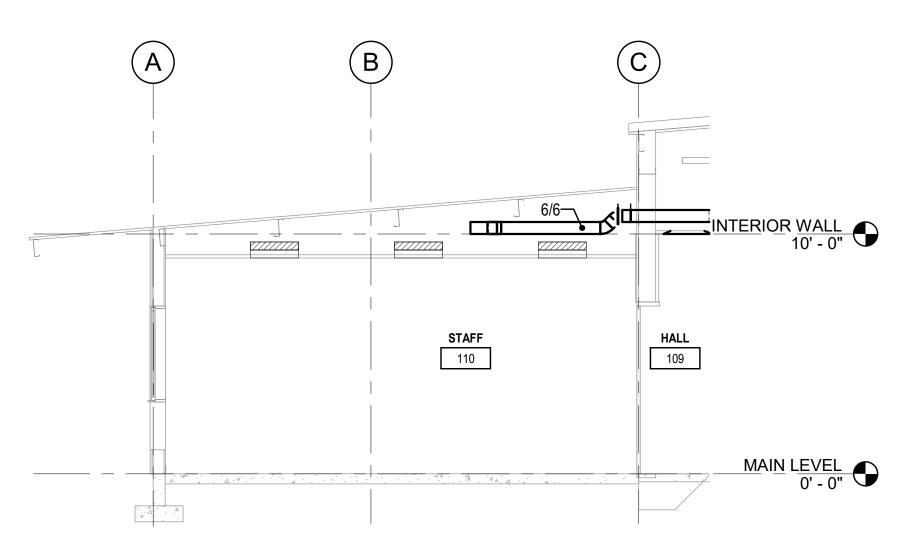
IMPROVEMENT

KCDEM TENANT I 8900 SW IMPERIAL WAY BREMERTON, WA 98312 KCDEM TENA

REVISION SCHEDULE

BID SET JUL7 07, 2023 2021.03 JH DATE: BA NO: CHECKED:

MECHANICAL SECTIONS



B (C)INTERIOR WALL 10' - 0" **WOMEN** 112 109 MAIN LEVEL 0' - 0"

Mechanical Section 1 1/4" = 1'-0"

B

(C)

HALL 119

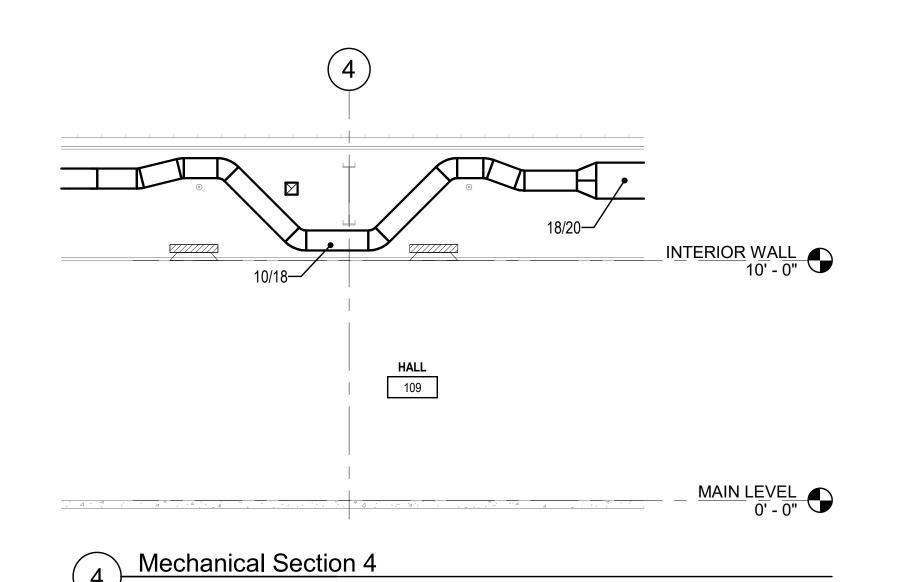
MAIN LEVEL 0' - 0"

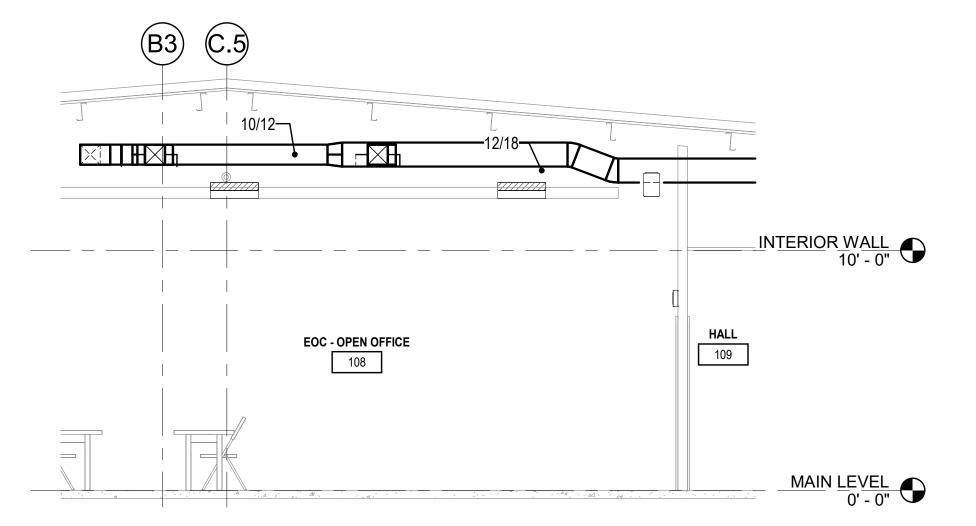
6/6 SDS-40 CFM

OFFICE 117

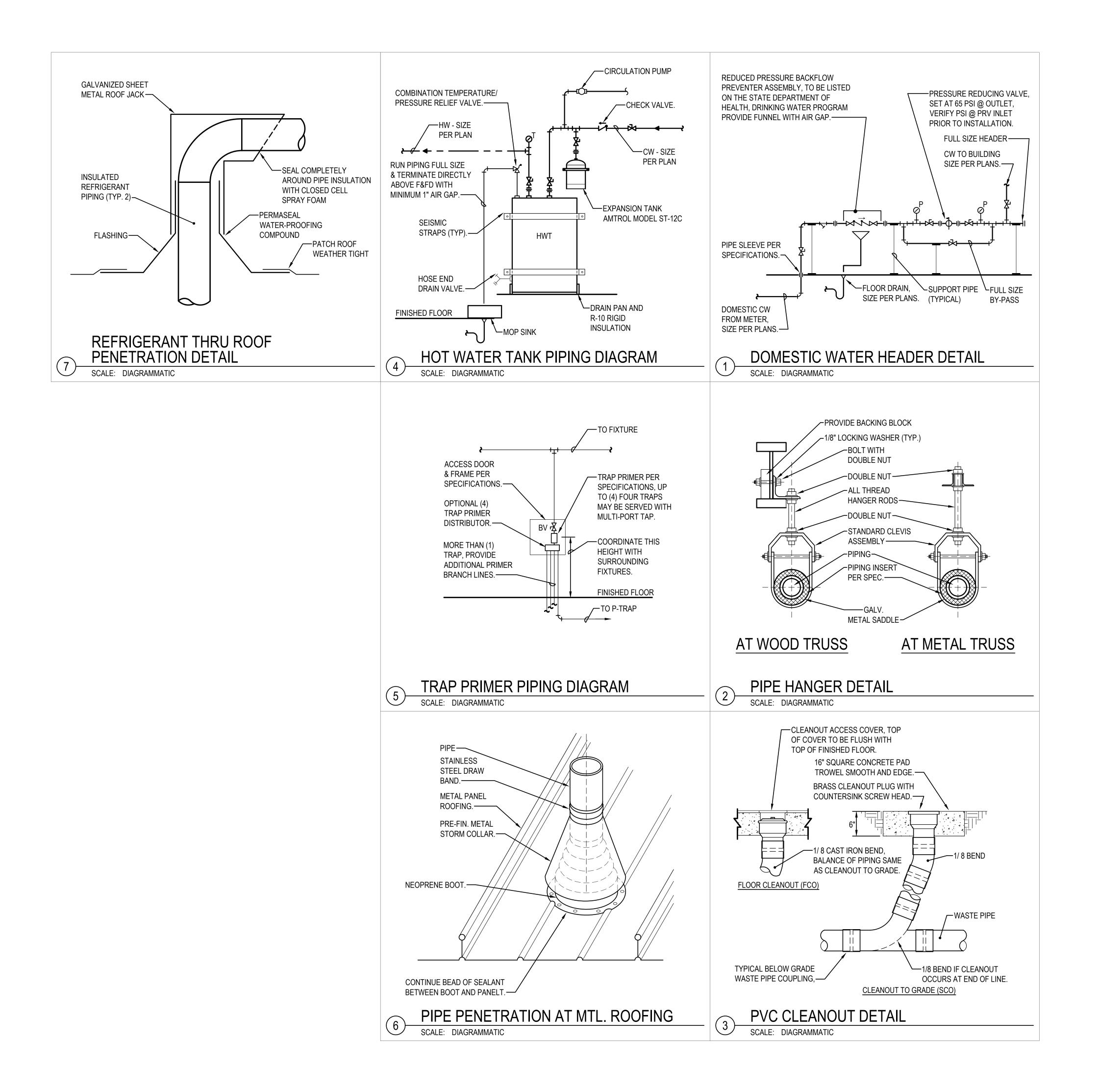
Mechanical Section 2 1/4" = 1'-0"

Mechanical Section 3





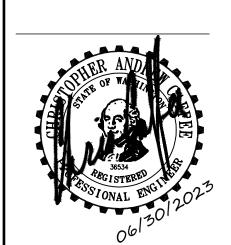
Mechanical Section 5
1/4" = 1'-0"



BAU ARC

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522





IMPROVEMENT

KCDEM TENANT
8900 SW IMPERIAL WAY
BREMERTON, WA 98312

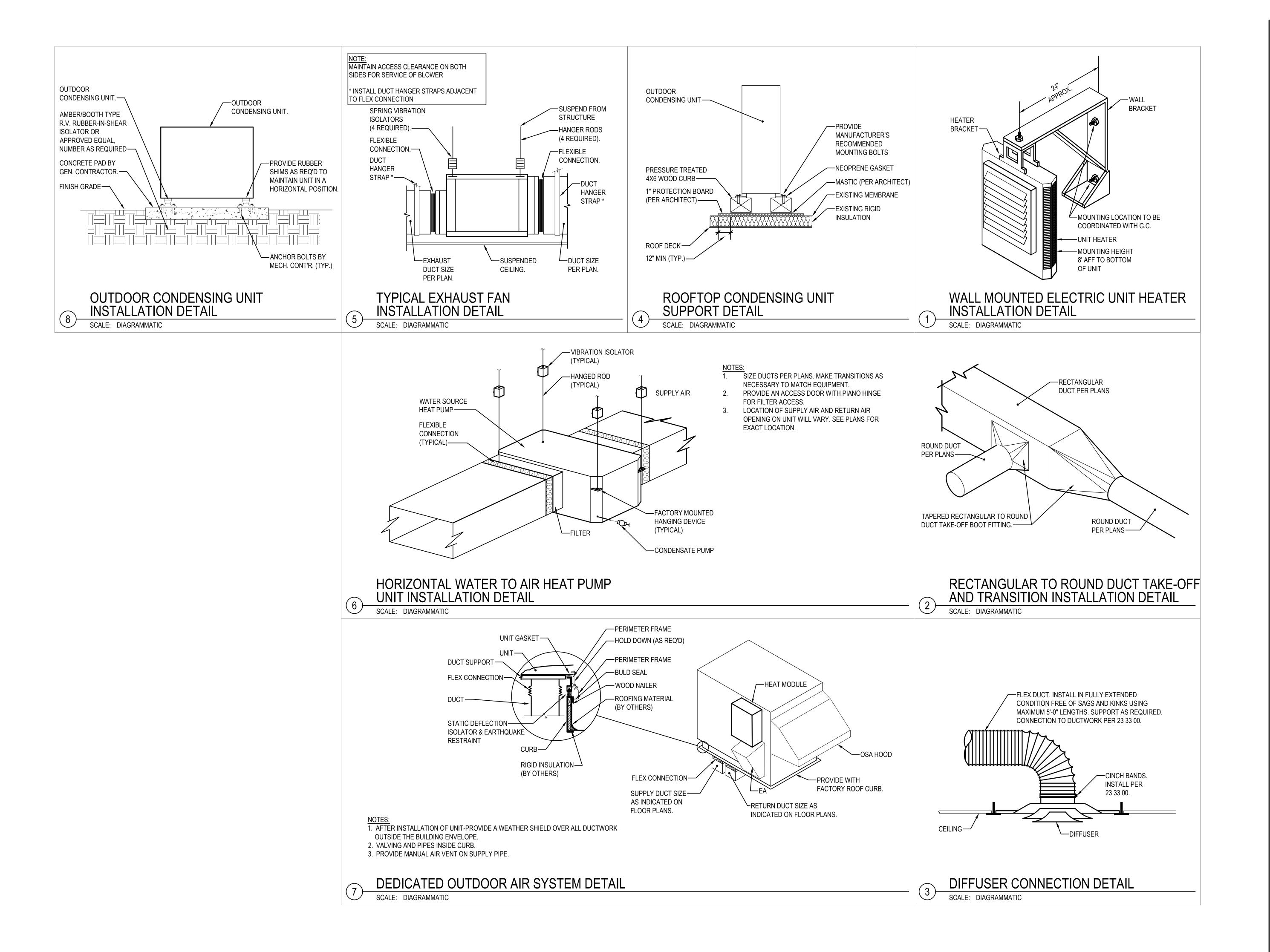
BID SET

DATE: JULY 07, 2023

MECHANICAL DETAILS

BA NO: CHECKED: 2021.03

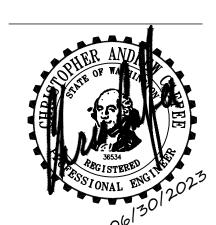
M5.00



BAU ARC

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522





IMPROVEMENT

KCDEM TENANT IMPR 8900 SW IMPERIAL WAY BREMERTON, WA 98312

BID SET

DATE: JULY 07, 2023
BA NO: 2021.03
CHECKED: JH

M5.01

MECHANICAL DETAILS II

				PLUMBING FIXTURE S	SCHEDULE				
UNIT NO	FIXTURE	MOUNTING		MANUFACTURER AND MODEL NUMBERS	W	V	HW	CW	REMARKS
			TOILET:	SLOAN ST-2459					
P-1	WATER CLOSET	WALL	SEAT:	CHURCH 9500CT	4"	2"	-	1"	1.28 GPF MANUAL FLUSHOMETER. PROVIDE WITH BOLT CAPS.
			FLUSH VALVE:	SLOAN ROYAL 111-1.28					
			TOILET:	SLOAN ST-2459					4.00 ODE MANUAL ELUQUOMETED DEGLEDE MUTU DOLT CARO. ADA
P-1A	WATER CLOSET ADA	WALL	SEAT:	CHURCH 9500CT	4"	2"	-	1"	1.28 GPF MANUAL FLUSHOMETER. PROVIDE WITH BOLT CAPS. ADA COMPLIANT, SEAT MUST BE 18" AFF.
			FLUSH VALVE:	SLOAN ROYAL 111-1.28					COM EDUCT, CEXT MOST BE TO 74 T.
D 0	LIDINAL	10/01/1	URINAL:	SLOAN SU-1009	QII.	4.4/0"		2/4"	0.425 ODE MANITAL ELLICHOMETED
P-2	URINAL	WALL	FLUSH VALVE:	SLOAN ROYAL 186-0.125 DBP	2	1-1/2"	-	3/4"	0.125 GPF MANUAL FLUSHOMETER.
			SINK:	SLOAN SS-3001					
			FITTINGS:	CHICAGO FAUCETS 420-T41-ABCP					
D 0	LAVATORY	OOLINITED	SUPPLIES:	MCGUIRE LFBV2165CC	011	4.4/01	4 /0"	4 (01)	ADA COMPLIANT, PROVIDE WITH EBC INSTITUTIONAL ADA INSULATO
P-3	LAVATORY	COUNTER	TRAP:	MCGUIRE MCT125	2"	1-1/2"	1/2"	1/2"	KIT. SET DELIVERY TEMPERATURE TO 105°F. PROVIDE MIXING VALV WITH MOUNTING BRACKET.
			MIXING VALVE:	BRADLEY S59-4000					
			WASTE:	MCGUIRE PRODRAIN WCSAN					
			SINK:	SLOAN SS-3003					
			FITTINGS:	CHICAGO FAUCETS 420-T41-ABCP					
D 4	LAVATORY	VA/A I I	SUPPLIES:	MCGUIRE LFBV2165CC	QII.	4.4/0"	4 /0!!	4 (01)	ADA COMPLIANT, PROVIDE WITH EBC INSTITUTIONAL ADA INSULATO
P-4	LAVATORY	WALL	TRAP:	MCGUIRE MCT125		1-1/2"	1/2"	1/2"	KIT. SET DELIVERY TEMPERATURE TO 105°F. PROVIDE MIXING VALV WITH MOUNTING BRACKET.
			MIXING VALVE:	BRADLEY S59-4000					
			WASTE:	MCGUIRE PRODRAIN WCSAN					
			FIXTURE:	FLORESTONE MSR-2424					
D. F.	24 x 24	FI 00D	FITTINGS:	CHICAGO FAUCETS 897-CP	211	2"	0/48	0/411	MOUNT FITTINGS AT 42" AFF, PROVIDE WITH 60" HOSE WITH CLAMP.
P-5	MOP SINK	FLOOR	WASTE:	FLORESTONE MR-375	3"	2"	3/4"	3/4"	FOUR STAINLESS STEEL RIM GUARDS.
			TRAP:	CAST IRON					
			SINK:	JUST SLX 1921-A-GR					
			FITTINGS:	CHICAGO FAUCETS 786					
- 0		001111777	SUPPLIES:	MCGUIRE LFBV2165CC	011	4.4/00	4./01	4.00	SET MAXIMUM HOT WATER DELIVERY TEMPERATURE AT 105°F.
P-6	KITCHEN SINK	COUNTER	WASTE:	JUST J-35-FS	2"	1-1/2"	1/2"	1/2"	PROVIDE MIXING VALVE WITH MOUNTING BRACKET.
			TRAP:	MCGUIRE MCT150					
			MIXING VALVE:	BRADLEY S59-4000					
P-7	FREEZE PROOF WALL HYDRANT	WALL	UNIT:	WOODFORD RB67	-	-	-	3/4"	
P-8	TWO-LEVEL DRINKING FOUNTAIN W/ BOTTLE FILLING STATION ADA	WALL	FIXTURE:	ELKAY LZSTL8WSSP	2"	1-1/2"	-	1/2"	BARRIER FREE, DUAL HEIGHT. PROVIDE WITH TRAP, SERVICE SUPP STOP AND SUPPORT SYSTEM

					WATE	ER HEATER SCH	EDULE			WATER HEATER SCHEDULE														
UNIT NO	MANUFACTURER	MODEL	LOCATION	TYPE	TANK SIZE (GAL)	INPUT (KW)	RECOVERY (GPH) @ 90°F RISE	WET WEIGHT (LB)	VOLTS	PH	DISCONNECT FURNISHED BY	REMARKS												
HWT-1	A.O.SMITH	DVE-52-9	CUST	ELECTRIC	50	9	41	265	208	1	EC	1,2,3												

NOTES FOR GAS WATER HEATER SCHEDULE

SINGLE POINT POWER CONNECTION. PROVIDE ALL POWER TRANSFORMERS AS NECESSARY.
 SET TEMPERATURE AT 140F.
 TANK TO BE ASME RATED.

					CIRCULATIO	N PUMP SCHED	ULE				
UNIT NO	MANUFACTURER	MODEL	LOCATION	MOTOR (WATT)	HEAD (FT)	FLOW (GPM)	VOLTS ELECTR	RICAL PH	STARTER FURNISHED BY	DISCONNECT FURNISHED BY	REMARKS
CP-1	ARMSTRONG	CUST	JAN/STO	33	3	1	115	1	NOTE 1	EC	1,2

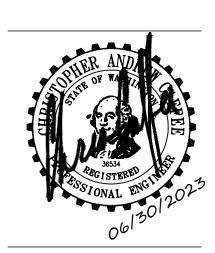
NOTES FOR CIRCULATION PUMP SCHEDULE:

EC TO PROVIDE A MANUAL STARTER (INCLUDING DISCONNECT). MC TO PROVIDE AND INSTALL A MOTOR RATED RELAY FOR INTERLOCK.
 EC TO CONNECT PUMP TO AQUASTAT.

BAU ARC ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522





KCDEM TENANT IMPROVEMENT 8900 SW IMPERIAL WAY BREMERTON, WA 98312

BID SET JULY 07, 2023 2021.03

CHECKED:

MECHANICAL SCHEDULES I

BA NO:

	DEDICATED OUTSIDE AIR UNIT SCHEDULE																											
		MULTISTACK ERV					S	YPPLY AIR	STREAM			ELECTRICA	L POST-HEAT	•			EXHA	UST AIRST	REAM			ELECTR	ICAL		WEIGHT	STARTER/VF	DISCONNECT	
UNIT NO	MANUFACTURER	MODELMODEL	AREA SERVED	LOCATION	CFM	CFM/ CORE	ESP	TOTAL SP	ВНР	BLOWER	KW	EAT	LAT	▲ T	CFM	CFM/ CORE	ESP	TOTAL SP	ВНР	BLOWER	VOLTAGE	FLA	MCA	МОР	(LBS)	FURNISHED BY	FURNISHED BY	REMARKS
DOAU-1	AURA GREEN	G01R-FSE	EAST OFFICES AND TRANING ROOM	ROOF	580	580	0.85	2.1	0.54	DELTA GTM031FUC20R	4	48.3	70.1	21.8	380	380	0.85	1.6	0.34	DELTA GTM031FUC20R	208/1/60	26.5	33.2	35	130	MFR	EC	1,2,3,4
DOAU-2	AURA GREEN	G03R-FSE	EOC OPEN OFFICE	ROOF	1350	450	0.75	2.0	0.95	GKHM315-CIB.112.6FF IE (3X260V) GEN 3	7	54.0	70.4	16.4	1250	417	0.75	1.9	0.86	GKHM315-CIB.112.6FF IE (3X260V) GEN 3	208/3/60	28	35.4	40	463	MFR	EC	1,2,3,4
DOAU-3	AURA GREEN	G01R-FSE	SOUTH OFFICES	ROOF	430	430	0.95	1.8	0.37	GR31C-6IK.BD.CR 115270/H01	2	55.2	69.9	14.7	430	430	0.95	1.8	0.37	GR31C-6IK.BD.CR 115270/H01	120/1/60	25	30.9	35	130	MFR	EC	1,2,3,4
DOAU-4	AURA GREEN	G01R-FSE	BALLOT	ROOF	350	350	0.75	1.5	0.24	GR31C-6IK.BD.CR 115270/H01	2	54.0	72.1	18.1	300	300	0.75	1.4	0.21	GR31C-6IK.BD.CR 115270/H01	120/1/60	24.7	30.9	35	130	MFR	EC	1,2,3,4

NOTES FOR DEDICATED OUTSIDE AIR UNIT SCHEDULE

- 1. PROVIDE UNIT WITH INSULATED DOUBLE WALL CONSTRUCTION.
- 2. PROVIDE VARIABLE SUPPLY AND EXHAUST FAN MOTORS WITH ECM.
- 3. PROVIDE WITH MERV 13 SUPPLY AIR FILTER AND MERV 8 RETURN AIR FILTER.
- 4. PROVIDE WITH FACTORY ROOF CURB.

								SPLIT S	SYSTEM I	NDOO	R UNIT SO	HEDUL	.E										
					INTERLOCKED		COOLING	HEATING		ELE	CTRICAL				SUPPLEMEN	TAL HEATEI	R			STARTER	DISCONNECT	WEIGHT	
UNIT NO	MANUFACTURER	MODEL	LOCATION	SERVE AREA	WITH	CFM	MBH	MBH	МСА	МОР	VOLTS	PH	MODEL	KW	# CIRCUITS	VOLTS	PHASE	MCA (EA)	MOP (EA)	FURNISHED BY	FURNISHED BY	(LBS)	REMARKS
HP-1	SAMSUNG	AC030KNZDCH/AA	HALL 103	EAST OFFICES	OCU-1	1007	30	32	21.7	35	208	1	VHK-210A	7.5	1	208	1	49	50	MFR	EC	140	2,3
HP-2	SAMSUNG	AC030KNZDCH/AA	HALL 103	TRANING ROOM	OCU-2	1007	30	32	21.7	35	208	1	VHK-210A	7.5	1	208	1	49	50	MFR	EC	140	2,3
HP-3	SAMSUNG	AM072TNZDCH/AA	HALL 109	EOC- OPEN OFFICE	OCU-3	1995	60	80	7.5	15	208	1	VHK-320A	15	2	208	1	28.2/50.8	30/60	MFR	EC	260	1,3
HP-4	SAMSUNG	AM060TNZDCH/AA	HALL 119	SOUTH OFFICES	OCU-4	1768	60	64	2.6	15	208	1	VHK-320A	15	2	208	1	28.2/50.8	30.60	MFR	EC	250	1,3
HP-5	SAMSUNG	AC036KNZDCH/AA	HALL 119	BALLOT	OCU-5	1165	36	40	26.4	40	208	1	VHK-210A	7.5	1	208	1	50.6	60.0	MFR	EC	140	2,3
ICU-1	SAMSUNG	RNS24ABT	SERVER ROOM	SERVER ROOM	CU-1	399	21	27.4	20	30	208	1	-	-	-					MFR	EC	30	1,3

NOTES FOR SPLIT SYSTEM INDOOR UNIT SCHEDULE

- 1. CC TO INSTALL CONTROL WIRING BETWEEN INDOOR AND OUTDOOR UNITS
- 2. POWERED THROUGH OUTDOOR UNIT, EC TO PROVIDE AND INSTALL POWER WIRING AND CONDUIT BETWEEN UNITS, CC TO INSTALL CONTROL WIRING BETWEEN UNITS
- 3. PROVIDE WITH CONDENSATE PUMP

	SPLIT SYSTEM CONDENSING UNIT SCHEDULE															
				COOLING		HEATING			ELECTRICAL				WEIGHT			
UNIT NO	MANUFACTURER	MODEL	LOCATION	EER	SEER	TOTAL MBH	СОР	TOTAL MBH	MCA	МОР	VOLTS	PH	STARTER FURNISHED BY	DISCONNECT FURNISHED BY	(LBS)	REMARKS
OCU-1	SAMSUNG	AC030JXADCH/AA	EAST OFFICES	10.5	19.6	33	3.3	36	21.7	35	208	1	MFR	EC	170	2,3,4,5,7
OCU-2	SAMSUNG	AC030JXADCH/AA	TRANING ROOM	10.5	19.6	33	3.3	36	21.7	35	208	1	MFR	EC	170	2,3,4,5,7
OCU-3	SAMSUNG	AM060MXMDCH/AA	EOC- OPEN OFFICE	10.9	17.1	60	3.2	66	32.0	50	208	1	MFR	EC	300	1,2,3,4,5
OCU-4	SAMSUNG	AM060MXMDCH/AA	SOUTH OFFICES	10.9	17.1	60	3.2	66	32.0	50	208	1	MFR	EC	300	1,2,3,4,5
OCU-5	SAMSUNG	AC036JXADCH/AA	BALLOT	11.4	19	36	3.2	40	26.4	40	208	1	MFR	EC	215	2,3,4,5,7
CU-1	SAMSUNG	RXS24ABT	SERVER ROOM	12.5	20	21	3.4	27.4	20	30	208	1	MFR	EC	165	1,2,3,4,5,6

NOTES FOR SPLIT SYSTEM CONDENSING UNIT SCHEDULE

- 1. CC TO INSTALL CONTROL WIRING BETWEEN INDOOR AND OUTDOOR UNITS
- 2. PROVIDE LONG LINE LENGTH KIT AND ADDITIONAL REFRIGERANT AS REQUIRED
- 3. COOLING CAPACITY RATED AT AMBIENT CONDITIONS OF 95F DB/74F WB OUTDOOR AND 80F DB/67F WB INDOOR
- 4. HEATING CAPACITY RATED AT AMBIENT CONDITIONS OF 47F DB OUTDOOR AND 70F DB INDOOR
- 5. UNIT EER, SEER, AND HSPF RATED AT AHRI 210/240 TEST CONDITIONS
- 6. PROVIDE WITH LOW AMBIENT KIT
- 7. EC TO PROVIDE AND INSTALL POWER WIRING AND CONDUIT BETWEEN INDOOR AND OUTDOOR UNITS, CC TO INSTALL CONTROL WIRING BETWEEN UNITS

	EXHAUST FAN SCHEDULE															
UNIT NO MANUFACTURER MODEL LOCATION C		CONFIGURATION	PERFORMANCE		CONTROLLED BY OR INTERLOCKED	UD DUD		ELECTRICAL		STARTER FURNISHED BY	DISCONNECT FURNISHED BY	WEIGHT	REMARKS			
UNIT NO	WANDFACTURER	CTURER MODEL LOCATION CONFIGURATION CFM ESP RPM WITH		ПР	HF BHF		PH	STARTER FURNISHED BT	DISCONNECT FORMISHED BT	(LBS)	REWIARRS					
EF-1	GREENHECK	SQ-100	ELECTRICAL ROOM	INLINE	1200	0.4	1725	THERMOSTAT	1/4	0.24	115	1	MFR	EC	60	1,2,3,4,5

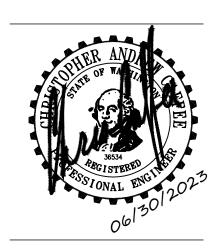
NOTES FOR EXHAUST FAN SCHEDULE

- 1. ALL EXHAUST FANS TO BE WIRED FROM MOTOR TO BOX ON EXTERIOR OF FAN ENCLOSURE
- 2. SPEED CONTROL TO BE FACTORY WIRED TO THE OUTSIDE CABINET OF INLINE FANS
- 3. FAN MOTOR TO BE ECM
- 4. EC TO PROVIDE A MANUAL STARTER (INCLUDING DISCONNECT)
- 5. PROVIDE WITH CLASS 1A LOW LEAKAGE AIRFOIL BLADE MOTORIZED DAMPER AS SHOWN ON PLANS

BAU ARC ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA 206 406 0522





IMPROVEMENT

KCDEM TE 8900 SW IMPER BREMERTON, V

BID SET JULY 07, 2023 BA NO: 2021.03 CHECKED:

MECHANICAL SCHEDULES II

GRILLES, REGISTERS & DIFFUSERS SCHEDULE									
UNIT NO	MANUFACTURER	MODEL	DESCRIPTION	AIR PATTERN	MOUNTING	FACE SIZE	COLOR	REMARKS	
CD-1	TITUS	TDC-1	SUPPLY CEILING DIFFUSER	1 WAY	T-BAR	23-3/4" X 23-3/4"	WHITE	FRAME 3	
CD-2	TITUS	TDC-2	SUPPLY CEILING DIFFUSER	2 WAY	T-BAR	23-3/4" X 23-3/4"	WHITE	FRAME 3	
CD-3	TITUS	TDC-3	SUPPLY CEILING DIFFUSER	3 WAY	T-BAR	23-3/4" X 23-3/4"	WHITE	FRAME 3	
CD-4	TITUS	TDC-4	SUPPLY CEILING DIFFUSER	4 WAY	T-BAR	23-3/4" X 23-3/4"	WHITE	FRAME 3	
SDS	TITUS	300RL	SIDEWALL SUPPLY DIFFUSER	DOUBLE DEFLECTION	SURFACE	NECK SIZE +1-3/4" TOTAL	WHITE	1, 2	
RG	TITUS	50F-A	RETURN/RELIEF GRILLE	-	T-BAR	23-3/4" X 23-3/4"	WHITE		
RGS	TITUS	350RL	SIDEWALL RETURN/ RELIEF GRILLE	-	SURFACE	NECK SIZE +1-3/4" TOTAL	WHITE	1, 2	
EG	TITUS	50F-A	EXHAUST GRILLE	-	T-BAR	23-3/4" X 23-3/4"	WHITE		
EGH	TITUS	50F-A	EXHAUST GRILLE	-	SURFACE	NECK SIZE +1-3/4" TOTAL	WHITE	1	
EGS	TITUS	350RL	SIDEWALL EXHAUST GRILLE	-	SURFACE	NECK SIZE +1-3/4" TOTAL	WHITE	1, 2	
TG	TITUS	50F-A	TRANSFER GRILLE	-	T-BAR	23-3/4" X 23-3/4"	WHITE		
TGS	TITUS	350RL	SIDEWALL TRANSFER GRILLE	-	SURFACE	NECK SIZE +1-3/4" TOTAL	WHITE	2	

NOTES FOR GRILLES, REGISTERS & DIFFUSERS SCHEDULE

1. FURNISH WITH OPPOSED BLADE DAMPER (OBD)

2. FURNISH WITH HORIZONTAL FRONT BLADES

	ELECTRIC UNIT HEATER SCHEDULE
--	--------------------------------------

UNIT NO	MANUFACTURER	MODEL	LOCATION	TVDE	TYPE WEIGHT			ELECTRICAL		STARTER FURNISHED BY	DISCONNECT FURNISHED BY	REMARKS	
UNIT NO	MANUFACTURER	WIODEL	LOCATION	TIPE	(LBS)	(FT-IN)	WATTS	VOLTS	PH	STARTER FURNISHED BY	DISCONNECT FURNISHED BY	REWARKS	
EH-1	KING	KBP1230	STAGING 125	GARAGE HEATER	30	7'	1900	120	1	MFR	EC	1,2	
EH-2	KING	KBP1230	STAGING 125	GARAGE HEATER	30	7'	1900	120	1	MFR	EC	1,2	

NOTES FOR ELECTRIC UNIT HEATER SCHEDULE

1. PROVIDE WITH DISCONNECT SWITCH

2. PROVIDE WITH MANUFACTURER LOW VOLTAGE REMOTE MOUNTED THERMOSTAT, SET TO 50F

LOUVER SCHEDULE											
		MODEL		SYSTEM		DIMENSIONS					
UNIT NO	MANUFACTURER		LOCATION		W (IN)	H (IN)	D (IN)	FREE AREA (SF)	CFM	VELOCITY (FPM)	REMARKS
LV-1	GREENHECK	EDJ-401 24X24	STAGING	EXHAUST	24	24	4	1.7	1200	705	1,2,3
LV-2	GREENHECK	ESD-435 24X24	ELECTRICAL ROOM	INTAKE	24	24	4	1.8	1200	665	1,2,3

NOTES FOR LOUVER SCHEDULE

1. SIZES SHOWN ARE MINIMUM REQUIRED TO MEET SCHEDULED PERFORMANCE, COORDINATE FINAL LOUVER DIMENSIONS WITH ARCHITECT

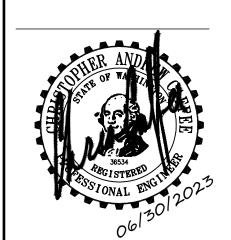
2. COLOR TO BE SELECTED BY ARCHITECT

3. PROVIDE LOUVER THAT IS RATED FOR HIGH VELOCITY INTAKE TO MAINTAIN RAIN PENETRATION PERFORMANCE

BAU ARC

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522





KCDEM TENANT IMPROVEMENT 8900 SW IMPERIAL WAY BREMERTON, WA 98312

BID SET

DATE: JULY 07, 2023
BA NO: 2021.03
CHECKED: JH

MECHANICAL SCHEDULES III

M6.02

MISCELLANEOUS CONTROLS

PROVIDE AND INSTALL ALL NECESSARY DEVICES, RELAYS, SWITCHES, SENSORS, DAMPERS, CONDUIT, AND WIRING TO PROVIDE A COMPLETE AND OPERATING EMCS.

- (VAR) IS AN ABBREVIATION DENOTING THAT THE PRECEDING VALUE IS AN EMCS VARIABLE VALUE.
- SPACE THERMOSTATS SHALL BE EQUIPPED WITH PUSHBUTTONS TO PROVIDE 5°F OF ADJUSTABILITY TO THE OCCUPANT: 2°F UP AND 2°F DOWN FROM THE CENTRAL EMCS SETPOINT.
- ALL ZONES THAT ARE PROVIDED WITH BOTH HEATING AND COOLING SHALL HAVE A DEADBAND OF AT LEAST 5°F IN WHICH HEATING AND COOLING ENERGY WILL BE SHUT OFF.
- CONTROLLERS SHALL BE INSTALLED OUTSIDE OF UNIT CASINGS.
- ALL OCCUPANCY SENSORS SHOWN ON MECHANICAL CONTROL PLANS SHALL BE PROVIDED BY DIVISION 26 CONTRACTOR AS PART OF THE LIGHTING CONTROL SYSTEM. CC SHALL COORDINATE WITH DIVISION 26 CONTRACTOR TO CONNECT TO ADDITIONAL CONTACT ON OCCUPANCY SENSORS, WIRING SHALL BE FURNISHED AND INSTALLED BY CC.

TIMING OF CONTROL WORK

THE CONTROL SYSTEM SHALL BE COMPLETE PRIOR TO BALANCING OF THE PROJECT. CONTROLS PERSONNEL SHALL ASSIST IN SYSTEM OPERATION FOR THE BALANCER. THE CONTROL SYSTEM SHALL BE COMPLETE PRIOR TO HVAC SYSTEM COMMISSIONING AND CONTROLS PERSONNEL SHALL ASSIST IN SYSTEM OPERATION AND TESTING DURING COMMISSIONING

PID LOOPS

WHENEVER A MOTOR RPM, DAMPER POSITION, OR VALVE POSITION IS TO MODULATE IN RESPONSE TO A SENSOR OUTPUT. A PID LOOP IS TO BE UTILIZED TO ACHIEVE THE DESIRED CONTROL FUNCTION. PID LOOP VARIABLES SHALL BE TUNED PER INDUSTRY STANDARDS. PROPORTIONAL, INTEGRAL, AND DERIVATIVE VARIABLES SHALL BE USED.

PROVIDE ALL NECESSARY EQUIPMENT, DEVICES, WIRING, AND PROGRAMMING FOR INTERLOCK OF EQUIPMENT AS SHOWN ON THE EQUIPMENT SCHEDULES.

WATER HEATERS (HWT-1)

WATER HEATERS SHALL BE CONTROLLED BY THERMOSTAT PROVIDED WITH UNIT. STORAGE TEMPERATURE SHALL BE

DOMESTIC HOT WATER RECIRCULATION PUMPS (CP-1)

PUMPS SHALL BE ENABLED BY EMCS SCHEDULE. WHEN ENABLED, PUMP SHALL BE ACTIVATED VIA PIPE MOUNTED AQUASTAT. PUMPS SHALL START WHEN RETURN WATER TEMPERATURE DROPS BELOW THE SETPOINT OF 105°F (VAR). PUMPS SHALL STOP WHEN RETURN WATER TEMPERATURE RISES ABOVE THE SETPOINT PLUS AN OFFSET OF 10°F (VAR). PROVIDE DDC TEMPERATURE SENSOR ON HWC LINE AND MONITOR TEMPERATURE AND PUMP STATUS AT THE TERMINAL.

TRACK EMCS CHANGES

EMCS SHALL RECORD SOFTWARE CHANGES AND USER LOGIN NAME FROM BEGINNING OF INSTALLATION.

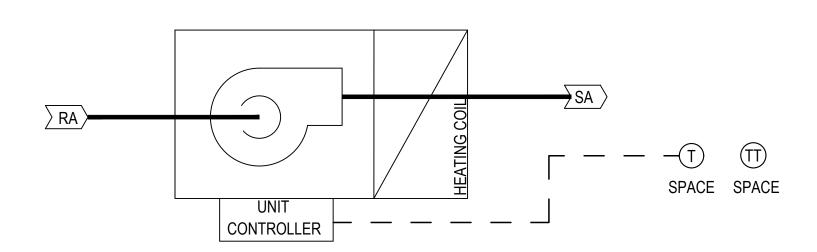
TRENDING

ALL CONTROL SYSTEM INPUT AND OUTPUT POINTS SHALL BE ACCESSIBLE AND PROGRAMMED FOR TRENDING AND A GRAPHIC TRENDING PACKAGE SHALL BE PROVIDED.

DEMAND RESPONSE SETPOINT ADJUSTMENT

- INCLUDE SOFTWARE THAT WILL RAISE ALL ZONE COOLING TEMPERATURE SETPOINTS 2°F (VAR) AND LOWER ALL ZONE HEATING TEMPERATURE SETPOINTS 2°F (VAR) UPON ACTIVATION OF A SINGLE INPUT.
- 2. PROVIDE AUTOMATIC INITIATION OF THE DEMAND RESPONSE SETPOINT ADJUSTMENT BASED ON THE TOTAL KW MEASURED AT THE MAIN ELECTRICAL SWITCHBOARD. INITIAL SETPOINT SHALL BE 400 KW (VAR).

	CONTROL	LEGEND)
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
T	THERMOSTAT (T'STAT)		MOTORIZED DAMPER
T	TEMPERATURE SENSOR	RL	REFRIGERANT LIQUID
OP DP	DIFFERENTIAL PRESSURE SENSOR	— RG —	REFRIGERANT GAS
(OS)	OCCUPANCY SENSOR (BY EC)	VFD	VARIABLE FREQUENCY DRIVE
AF	AIRFLOW MEASURING STATION	ECM	ELECTRONICALLY COMMUTATED MOTOR
AS	AIRFLOW SWITCH	N.C.	NORMALLY CLOSED
PS	PRESSURE SENSOR	N.O.	NORMALLY OPEN
(CR)	CONTROL RELAY	BDD	BACKDRAFT DAMPER
(CS)	CURRENT SENSOR	AFF	ABOVE FINISHED FLOOR
(SD)	SMOKE DETECTOR	BFF	BELOW FINISHED FLOOR
MS	MOISTURE SENSOR	MC	MECHANICAL CONTRACTOR
E	EMERGENCY SHUTDOWN PUSH BUTTON	CC	CONTROLS CONTRACTOR
DS	DOOR SWITCH	EC	ELECTRICAL CONTRACTOR
S	MANUAL SWITCH	GC	GENERAL CONTRACTOR
$\overline{\rangle}$ RA \rangle	RETURN AIR	\(\sum_{EA} \)	EXHAUST AIR
SA	SUPPLY AIR	\sum MA \rangle	MIXED AIR
\(\rangle PA \)	PRIMARY AIR	∑TA >	TRANSFER/RELIEF AIR
∑OA >	OUTSIDE AIR		



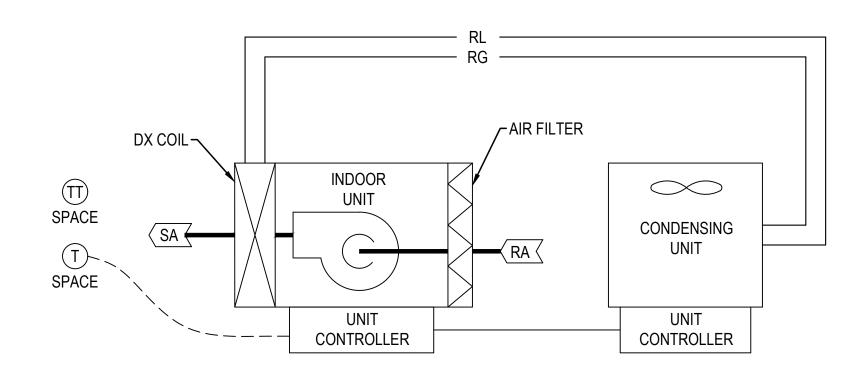
ELECTRIC UNIT HEATER (UH-1,2)

HEATER SHALL BE CONTROLLED BY MANUFACTURER SUPPLIED SPACE THERMOSTAT

- ELECTRIC HEATING COIL AND UNIT FAN SHALL ACTIVATE ON CALL FOR HEATING. FAN SHALL HAVE INTEGRAL DELAY TO RUN UNTIL HEATING ELEMENTS HAVE COOLED TO MANUFACTURER RECOMMENDED TEMPERATURE.
- INITIAL SPACE TEMPERATURE SETPOINT SHALL BE 50°F (VAR).
- EMCS SHALL MONITOR SPACE TEMPERATURE VIA EMCS TEMPERATURE SENSOR AND PROVIDE ALARM IF SPACE FALLS BELOW 40°F (VAR).

INFORMATION AT THE TERMINAL

- SPACE TEMPERATURE
- FAILURE TO MAINTAIN SPACE SETPOINT ALARM



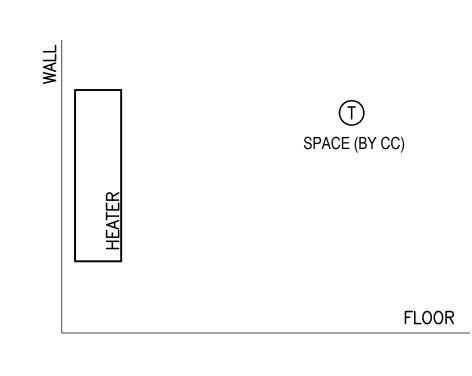
SPLIT SYSTEM UNITS (ICU-1, CU-1)

SPLIT SYSTEM HEATING AND COOLING SHALL BE CONTROLLED BY MANUFACTURER SUPPLIED SPACE THERMOSTAT. THE UNIT FAN AND COMPRESSOR SHALL CYCLE ON AND OFF TO MAINTAIN ROOM TEMPERATURE SETPOINT. CONTROLS CONTRACTOR

- TO INSTALL AND WIRE THERMOSTAT. INITIAL SETPOINT SHALL BE 60°F (VAR) FOR HEATING AND 75°F (VAR) FOR COOLING.
- CONTROLS CONTRACTOR SHALL PROVIDE CONTROL WIRING BETWEEN INDOOR AND OUTDOOR SYSTEMS.
- EMCS SHALL MONITOR SPACE TEMPERATURE VIA EMCS TEMPERATURE SENSOR AND PROVIDE ALARM IF SPACE RISES ABOVE 78°F (VAR) FOR MORE THAN 10 MINUTES (VAR).

INFORMATION AT TERMINAL

- SPACE TEMPERATURE
- FAILURE TO MAINTAIN SPACE SETPOINT ALARM

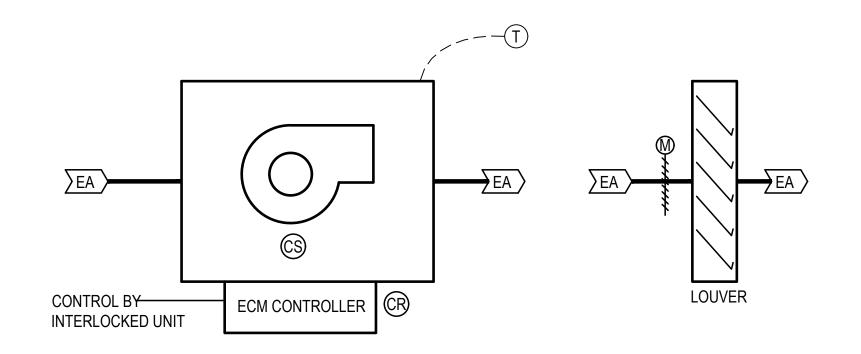


STAND-ALONE ELECTRIC HEATERS EWH-1,2)

ELECTRIC HEATER SHALL BE CONTROLLED BY A 7-DAY PROGRAMMABLE T'STAT PER WSEC SECTION C403.4.2.

2. THERMOSTAT SHALL HAVE A SET POINT PER EQUIPMENT SCHEDULE.

ROOMS WITH MULTIPLE HEATERS SHALL BE CONTROLLED VIA ONE THERMOSTAT UNLESS INDICATED OTHERWISE.



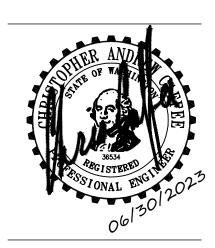
TYPICAL INTERLOCKED EXHAUST FAN

- EXHAUST FAN SHALL BE INTERLOCKED WITH ITS T'STAT PER SCHEDULE VIA EMCS CONTROL RELAY.
- 2. DAMPER SHALL OPEN UPON ACTIVATION AND FAN SHALL START VIA DAMPER END SWITCH. DAMPER SHALL FAIL CLOSED.
- 3. EMCS SHALL MONITOR FAN AND GENERATE ALARM.
- INFORMATION AT TERMINAL
- FAN ON/OFF AND STATUS (BY CURRENT SENSING RELAY)
- FAN RUNTIME
- FAN FAILURE ALARM (I.E. NO CURRENT WHEN COMMANDED ON)
- DAMPER POSITION (% COMMANDED OPEN)
- DAMPER END SWITCH STATUS

BAU ARC **ARCHITECTURE**

1230 BAY STREET PORT ORCHARD, WA 206 406 0522





IMPROVEMENT

KCDEM

BID SET JULY 07, 2023 2021.03 BA NO: CHECKED:

MECHANICAL CONTROLS I

SINGLE ZONE DX COOLING / HEAT PUMP HEATING AIR HANDLING UNIT (HP-1,2,3,4,5 & OCU-1,2,3,4,5)

SPACE TEMPERATURE SENSOR SHALL BE EQUIPPED WITH PUSH BUTTONS TO PROVIDE UNOCCUPIED OVERRIDE REQUEST. OVERRIDE RUNTIME SHALL BE 2 HOURS (VAR).

2. UNIT SHALL BE PROGRAMMED FOR START/STOP THROUGH THE EMCS BASED ON DESIGNED OCCUPIED MODES WITH WEEKDAY, WEEKEND, AND HOLIDAY SCHEDULES.

SUPPLY FAN SHALL START VIA A SCHEDULE (VAR), WARM-UP MODE COMMAND (VAR), OR OVERRIDE COMMAND (VAR). WARM-UP MODE COMMAND SHALL BE GENERATED BY AN EMCS OPTIMIZATION ROUTINE. OVERRIDE COMMAND SHALL BE TRIGGERED BY SPACE TEMPERATURE SENSOR UNOCCUPIED OVERRIDE REQUEST, SPACE TEMPERATURE SENSOR CALLING FOR NIGHT SETBACK CONDITIONING, OR BY EMCS USER INTERFACE.

2. FAN ALARM SHALL ACTIVATE IF FAN STATUS FAILS TO ACTIVATE FOR 5 MINUTES (VAR) AFTER FAN HAS BEEN STARTED EMCS SHALL RECORD FAN ALARM.

- COMPRESSORS SHALL BE DISABLED WHEN THE FAN IS OFF.
- 2. COMPRESSORS SHALL STAGE COOLING TO MAINTAIN SPACE TEMPERATURE SETPOINT.
- UPON SENSING OF MOISTURE BY CONDENSATE MOISTURE SENSOR LOCATED NEAR FLOOD RIM OF DRAIN PAN, COMPRESSOR SHALL BE DISABLED AND AN ALARM SHALL BE GENERATED.

HEAT PUMP HEATING

1. COMPRESSORS SHALL BE DISABLED WHEN THE FAN IS OFF.

2. COMPRESSORS SHALL STAGE HEATING TO MAINTAIN SPACE TEMPERATURE SETPOINT.

ELECTRIC BACKUP HEATING

- HEATING SHALL BE DISABLED WHEN THE FAN IS OFF.
- HEATING SHALL BE DISABLED WHEN THE COMPRESSORS ARE IN COOLING OR HEAT PUMP OPERATION.
- HEATING SHALL STAGE TO MAINTAIN SPACE TEMPERATURE SETPOINT WHEN COMPRESSORS ARE IN DEFROST MODE.

SPACE TEMPERATURE SETPOINTS

- TEMPERATURE SETPOINT SHALL BE 70°F HEATING (VAR) AND 75°F COOLING (VAR). 2. TEMPERATURE SETPOINTS SHALL BE RESET TO 5°F (VAR) LESS IN HEATING AND 5°F (VAR) GREATER IN COOLING WHEN THE OCCUPANCY SENSOR INDICATES THAT THE SPACE IS UNOCCUPIED FOR 5 MINUTES (VAR).
- 3. NIGHT SETBACK TEMPERATURE SETPOINT SHALL BE 60°F HEATING (VAR) AND 85°F COOLING (VAR). OS BY EC, CONNECTION BY CC.

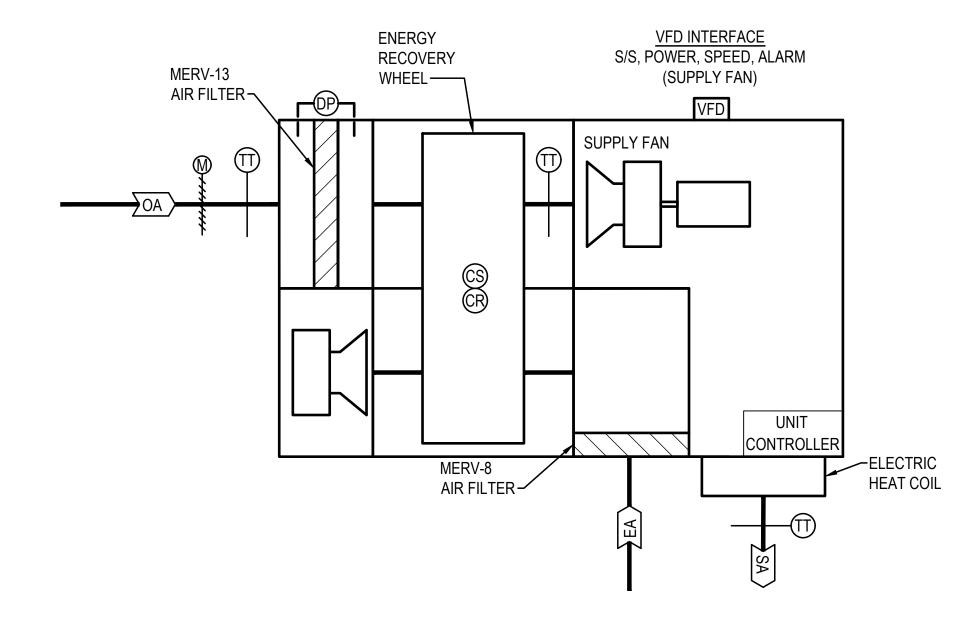
SUPPLY AIR TEMPERATURE SHALL REMAIN BETWEEN 55°F (VAR) LOWER LIMIT AND 95°F (VAR) UPPER LIMIT. SUPPLY AIR LOWER LIMIT IN HEATING OR DEADBAND MODE SHALL BE 70°F (VAR).

FIRE ALARM SHUTDOWN

UPON A GENERAL FIRE ALARM, ALL AIR HANDLING EQUIPMENT SHALL SHUT DOWN.

INFORMATION AT THE TERMINAL

- UNIT OPERATING MODE (OCCUPIED/UNOCCUPIED, HEATING/COOLING)
- TEMPERATURES (°F): RETURN AIR, SUPPLY AIR
- FAN START/STOP, POWER, SPEED, ALARM, RUNTIME
- FILTER DIFFERENTIAL PRESSURE (IN. W.G.)
- COMPRESSOR START/STOP, POWER, STAGES, ALARM, RUNTIME
- ELECTRIC HEAT COMMAND
- SPACE TEMPERATURE
- SPACE TEMPERATURE SETPOINT
- OCCUPANCY STATUS
- OVERRIDE STATUS OVERRIDE TIMER VALUE
- CONDENSATE MOISTURE SENSOR ALARM
- ALL EMCS GENERATED ALARMS
- ALL SETPOINTS AND RANGES



DEDICATED OUTSIDE AIR UNIT (DOAS-1,2,3,4)

1. UNIT SHALL BE PROGRAMMED FOR START/STOP THROUGH THE DDC SYSTEM BASED ON DESIGN OCCUPIED MODES WITH WEEKDAY, WEEKEND, AND HOLIDAY SCHEDULES.

SUPPLY FAN

- 1. SUPPLY FAN SHALL START VIA A SCHEDULE (VAR) OR OVERRIDE COMMAND (VAR). OVERRIDE COMMAND CAN BE
- TRIGGERED BY A SINGLE THERMOSTAT OCCUPANCY SENSOR OVERRIDE REQUEST, OR BY EMCS USER INTERFACE. 2. OUTSIDE AIR DAMPER SHALL OPEN UPON ACTIVATION AND FAN SHALL START VIA DAMPER END SWITCH. DAMPER SHALL
- 3. SUPPLY FAN SHALL RUN CONTINUOUSLY WHILE OCCUPIED AT SCHEDULED SUPPLY AIRFLOW
- 4.1. FAN ALARM SHALL ACTIVATE IF FAN STATUS FAILS TO ACTIVATE AFTER FAN HAS BEEN STARTED. EMCS SHALL
- 4.2. SOFTWARE FAN SHUTDOWN UPON ACTIVATION OF FIRE/SMOKE ALARM. EMCS SHALL RECORD FIRE/SMOKE ALARM.

EXHAUST FAN

- 1. EXHAUST FAN SHALL OPERATE WHENEVER SUPPLY FAN IS PROVEN ON.
- 2. EXHAUST DAMPER SHALL OPEN UPON ACTIVATION AND FAN SHALL START VIA DAMPER END SWITCH. DAMPER SHALL FAIL
- FAN ALARMS
- 3.1. FAN ALARM SHALL ACTIVATE IF FAN STATUS FAILS TO ACTIVATE AFTER FAN HAS BEEN STARTED. EMCS SHALL RECORD FAN ALARM.
- 3.2. SOFTWARE FAN SHUTDOWN UPON ACTIVATION OF FIRE/SMOKE ALARM. EMCS SHALL RECORD FIRE/SMOKE ALARM.

ENERGY RECOVERY WHEEL

- 1. WHEEL SHALL START WHEN THE SUPPLY FAN STATUS IS ON.
- 2. WHEEL SHALL STOP WHEN THE SUPPLY FAN STATUS IS OFF.

ELECTRIC HEATING

- 1. HEATING SHALL BE DISABLE WHEN FAN IS OFF.
- 2. STAGE/ MODULATE HEAT TO MAINTAIN A DISGORGE AIR TEMPERATURE OF 65°F (VAR).

FIRE ALARM SHUTDOWN

1. UPON A GENERAL FIRE ALARM, ALL AIR HANDLING EQUIPMENT SHALL SHUT DOWN.

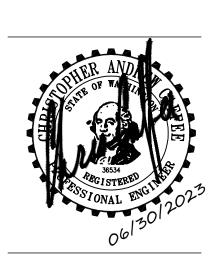
INFORMATION AT THE TERMINAL

- UNIT OPERATING MODE (OCCUPIED/UNOCCUPIED)
- TEMPERATURES (°F): OUTSIDE AIR, SUPPLY AIR, EXHAUST AIR, RETURN AIR, AND ENERGY RECOVERY SUPPLY AIR
- ALL DAMPER POSITIONS (% COMMANDED OPEN)
- DAMPER END SWITCH STATUSES
- SUPPLY AND EXHAUST FAN START/STOP, SPEED, POWER, ALARM, RUNTIME, SIGNAL
- ALL FILTER DIFFERENTIAL PRESSURES (IN WC)
- ENERGY WHEEL ENABLE/DISABLE
- ENERGY WHEEL STATUS
- OVERRIDE STATUS
- WEEKDAY, WEEKEND, AND HOLIDAY SCHEDULES
- ALL EMCS GENERATED ALARMS
- ALL SETPOINTS AND RANGES

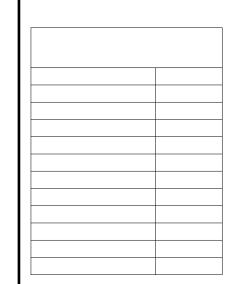
BAU ARC **ARCHITECTURE**

1230 BAY STREET PORT ORCHARD, WA 206 406 0522





IMPROVEMENT **4 TEN**



BID SET JULY 07, 2023 2021.03

MECHANICAL CONTROLS II

DATE: BA NO:

CHECKED:

	ELECTRICAL	LEGE	ND
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	LIGHTING		SWITCHES
	RECESSED LIGHT FIXTURE	\$	SINGLE POLE SWITCH
•	SURFACE OR PENDANT MOUNT LIGHT FIXTURE (CIRCLE INDICATES RECESSED OR CONCEALED JUNCTION BOX)	\$ ⊤	TIMER SWITCH
	RECESS OR PENDANT MOUNT DOWNLIGHT FIXTURE	\$ 3	THREE WAY SWITCH
 -⊠	WALL MOUNT LIGHT FIXTURE	\$ D	LED DIMMER SWITCH
	SURFACE OR PENDANT MOUNT STRIP LIGHT (CIRCLE INDICATES RECESSED OR CONCEALED JUNCTION BOX)	\$ LV	LOW VOLTAGE SWITCH
<u> </u>		\$ vs	VACANCY SENSOR SWITCH
	EGRESS FIXTURE WITH BATTERY BACKUP. PROVIDE WITH UNSWITCHED HOT LEG	\$ ^D _{LV}	LOW VOLTAGE DIMMER SWITCH
	EMERGENCY BATTERY PACK WITH TWIN HEAD FLOOD PROVIDE UNSWITCHED HOT LEG.	a \$\$ b	MULTI-GANGED SWITCH (LOWER CASE LETTERS INDICATES SWITCHING)
	COMBINATION EXIT/TWIN HEAD FLOOD (PROVIDE DIRECTION ARROWS AS INDICATED) PROVIDE UNSWITCHED HOT LEG.	©	PHOTOCELL CONTROL
		OS	CEILING MOUNTED OCCUPANCY SENSOR (LIGHTING CONTROL)
	RECEPTACLES	VS	CEILING MOUNTED VACANCY SENSOR (LIGHTING CONTROL)
Ф	DUPLEX RECEPTACLE		
d G G	DUPLEX RECEPTACLE (G INDICATES GROUND FAULT CIRCUIT INTERRUPTER)		
ф с	DUPLEX RECEPTACLE (C INDICATES ABOVE COUNTER)		MISCELLANEOUS
₩ S	(1) DUPLEX RECEPTACLE & (1) DUPLEX SWITCHED RECEPTACLE UNDER (1) 2-GANG SWITCH PLATE	1	CONSTRUCTION NOTES
Q b	DROP CORD REEL WITH RECEPTACLE	\$	ALL DEVICES WITH LIGHT LINE WEIGHT INDICATES EXISTING TO BE RETAINED.
©	SPECIAL PURPOSE OUTLET - 1Ø, VOLTAGE AND AMPERES AS INDICATED	AH1	SEE GENERAL NOTES ON EACH SHEET.
#	DEDICATED FOURPLEX RECEPTACLE	AH1 1	MECHANICAL EQUIPMENT CONNECTION
	FLOOR BOX RECEPTACLE WITH (1) DUPLEX RECEPTACLE & (1) DUPLEX SWITCHED RECEPTACLE & DATA/AV OUTLET		DETAIL CALLOUT NUMBER WITH SHEET NUMBER FOR LOCATION
MTS	MANUAL TRANSFER SWITCH	E3.XX	DETAIL CALLOUT INDIVIDER WITH SHEET INDIVIDER FOR LOCATION
	EQUIPMENT, WIRING AND RACEWAYS		
—	DEDICATED CONDUIT HOMERUN TO PANEL & CIRCUIT NUMBERS AS INDICATED ON PLANS		
	RACEWAY CONCEALED IN WALL OR CEILING		ARREVIATIONS

RACEWAY CONCEALED UNDERGROUND OR UNDER FLOOR SLAB

120/208 VOLT PANELBOARD (OR AT RATED VOLTAGE AS NOTED)

ENCLOSED CIRCUIT BREAKER, AMPERES AS INDICATED

FOGTITE J11 TYPE 2 WITH TRAFFIC-RATED LID

INCOMING PRIMARY UTILITY LINE - UNDERGROUND

INCOMING SERVICE CONDUCTOR - UNDERGROUND

GROUNDING SYSTEM PER CODE

JUNCTION BOX - SIZE PER CODE

MOTOR CONNECTION

DISCONNECT SWITCH

FUSED DISCONNECT SWITCH

277/480 VOLT PANELBOARD

SURGE PROTECTION DEVICE

MOTORIZED DOOR CONTROL

POWER TRANSFORMER

METER

Ъ

SPD

ABBREVIATIONS								
G	GROUND FAULT CIRCUIT INTERRUPTER	UC	UNDERCOUNTER					
С	MOUNT ABOVE COUNTER	UG	UNDERGROUND					
DW	DISHWASHER	GR	GROUND					
EC	ELECTRICAL CONTRACTOR	FACP	FIRE ALARM CONTROL PANEL					
TTB	TELEPHONE TERMINAL BOARD	SER	SERVICE ENTRANCE RATED					
MW	MICROWAVE	SUSE	SUITABLE FOR USE AS SERVICE ENTRANCE					
REF	REFRIGERATOR	ВСТ	BONDING CONDUCTOR FOR TELECOMMUNICATION					
MON	MONITOR	MON	MONITOR					
ACP	ACCESS CONTROL PANEL	СР	COPIER					
DAS	DIGITAL ANTENNA SYSTEM	P.B.	PUSH BUTTON					
AES	ALARM EMERGENCY SIGNAL ANTENNA	VM	VENDING MACHINE					
TV	TELEVISION, MOUNT @+84" AFF							

GENERAL NOTES (APPLY TO ALL SHEET)

- THE CONTRACTOR SHALL REFER TO STRUCTURAL DRAWINGS FOR BRACE FRAMED OR SHEAR WALLS CONTRACTOR SHALL MOUNT DEVICES AND ROUTE CONDUIT SO AS NOT TO INTERFERE WITH THE STRUCTURAL INTEGRITY OF THE WALL.
- ROOMS AND/OR AREAS WITHOUT CEILINGS SHALL HAVE ALL CABLES ROUTED IN CONDUIT. CONDUIT SHALL BE INSTALLED TIGHT TO STRUCTURE, ROUTED PARALLEL OR PERPENDICULAR TO STRUCTURE, AND SHALL BE PAINTED TO MATCH ADJACENT SURFACE.
- PANEL DESIGNATIONS AND CIRCUIT NUMBERS ARE ONLY INDICATED ON THE DRAWINGS FOR REFERENCE BY THE ELECTRICAL CONTRACTOR. THE E.C. IS RESPONSIBLE TO PROVIDE ALL CONDUIT, WIRING, JUNCTION BOXES AND MISCELLANEOUS ACCESSORIES TO ACCOMMODATE INSTALLATION AND CONNECTION OF ALL DEVICES INDICATED ON THE CONTRACT DOCUMENTS. ALL WIRING SHALL BE IN HARD CONDUIT BACK TO THE DESIGNATED PANELBOARD. MC TYPE CABLE IS NOT AN ACCEPTABLE WIRING METHOD. ALL JUNCTION BOXES SHALL BE LABELED IDENTIFYING THE PANELBOARD AND CIRCUIT CONTAINED WITHIN. THERE SHALL BE NO MORE THAN (3) CIRCUITS PER HOMERUN. MULTI-WIRE CIRCUITS ARE NOT ALLOWED. EACH CIRCUIT SHALL CONTAIN A DEDICATED NEUTRAL UNLESS SPECIFICALLY ALLOWED BY THE ENGINEER. ALL WIRING SHALL BE SIZED ACCORDING TO AMPACITY OF THE CIRCUIT BREAKER INDICATED ON THE PANEL SCHEDULES. ALL CONDUIT SHALL BE SIZED PER NEC CODE BASED ON THE CONDUCTOR SIZE, TYPE, QUANTITY AND MINIMUM FILL REQUIREMENTS. CIRCUITS OVER 120 FEET FOR 120V AND 250' FOR 277V SHALL BE UP SIZED ONE WIRE SIZE TO ACCOUNT FOR VOLTAGE DROP. E.C. IS RESPONSIBLE TO SHOW ALL JUNCTION BOX LOCATIONS, CONDUIT ROUTING AND HOMERUNS ON A SET OF AS-BUILT DRAWINGS.
- 4. FEED THROUGH GFCI RECEPTACLES SHALL NOT BE USED.
- 5. THERE SHALL BE NO EXPOSED LOW VOLTAGE CABLING OF ANY TYPE IN EXPOSED FINISHED AREAS.
- 6. ALL SPARE CONDUITS (FOR FUTURE USE) SHALL BE LABELED "SPARE/FUTURE CONDUIT" AT EACH END OF THE CONDUIT WITH 1/2" TALL LETTERS, USING A PERMANENT MARKER.
- 7. FIRE CAULK ALL WALL PENETRATIONS AS REQUIRED. PROVIDE CONDUIT SLEEVES FOR ALL LOW VOLTAGE CABLES THROUGH NON-RATED WALLS.
- 8. ALL TYPICAL DEVICES SHALL BE MOUNTED AT CONSISTENT LOCATIONS AND HEIGHTS THROUGHOUT THIS PROJECT, UNLESS NOTED OTHERWISE.
- 9. SEE ALL DETAIL SHEETS AND RISER DIAGRAMS FOR ADDITIONAL WORK. ALL DETAILS AND RISERS ARE APPLICABLE TO THIS PROJECT WHETHER REFERENCED OR NOT.
- 10. ALL GROUNDING SHALL CONFORM TO NEC 250.
- 11. CIRCUITING SHALL BE PROVIDED AS REQUIRED TO MEET THE NEC. ALL SINGLE POLE CIRCUITS SHALL BE PROVIDED WITH DEDICATED NEUTRALS.
- 12. PROVIDE CUTTING AND PATCHING OF EXISTING WALLS TO ACCOMMODATE INSTALLATION OF NEW WORK.COORDINATE WITH G.C.

GENERAL DEMOLITION NOTES (APPLY TO ALL SHEETS)

- 1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INCLUDE IN HIS/HER BID ALL COSTS ASSOCIATED WITH NECESSARY DEMOLITION TO ALLOW NEW CONSTRUCTION SHOWN IN CONTRACT DOCUMENTS, UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL REMOVE ALL EXISTING ELECTRICAL EQUIPMENT, LIGHTING FIXTURES, DEVICES, ABANDONED RACEWAYS, CONDUCTORS, TOGETHER WITH ANY AUXILIARY ITEMS TO ALLOW NEW CONSTRUCTION AND FINISH TO OCCUR AS COMPLIMENTED BY THE CONTRACT DOCUMENTS. DASHED LINES INDICATE EXISTING DEVICES AND EQUIPMENT TO BE REMOVED.
- 2. THESE PLANS DELINEATE THE BASIC SCOPE OF WORK FOR THE REMOVAL OF EXISTING MATERIAL. THE DEMOLITION DRAWINGS AND NOTES ARE PROVIDED WITH THE INTENT TO GENERALLY DESCRIBE AREAS AND LIMITS OF WORK. THE CONTRACTOR SHALL BE FAMILIAR WITH THE SITE AND CONDITIONS THERE AND SHALL NOT RELY SOLELY ON REVIEW OF THE BIDDING DOCUMENTS IN DETERMINING THE EXTENT OF DEMOLITION WORK REQUIRED. COORDINATION OF THESE DRAWINGS WITH REQUIREMENTS FOR CONTRACT WORK IS THE RESPONSIBILITY OF THE CONTRACTOR. DISCREPANCIES BETWEEN OR WITHIN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL PROVIDE CLARITY SKETCHES, DIAGRAMS, AND FIELD DIMENSIONS OF EXISTING CONDITIONS AT THE REQUEST OF THE ENGINEER IR/WHEN CONFLICTS ARE IDENTIFIED.
- 3. E.C. TO REMOVE ELECTRICAL CONNECTIONS TO ALL MECHANICAL EQUIPMENT TO BE DEMOLISHED. E.C. SHALL CHECK ALL DEMOLITION PLANS AND ACTUAL FIELD CONDITIONS FOR UNIT LOCATIONS. COORDINATE WORK WITH MECHANICAL CONTRACTOR. ALL CONDUITS PENETRATING THROUGH THE ROOF AND ACCESSIBLE SHALL BE REMOVED.
- 4. THE DEMOLITION PLANS HAVE NO INTENT TO SHOW ALL ELECTRICAL DEVICES TO BE REMOVED. ELECTRICAL CONTRACTOR SHALL VERIFY DEMOLITION WORK INVOLVED PRIOR TO BID.
- 5. REMOVE ALL ELECTRICAL AND SIGNALING DEVICES (INCLUDING, BUT NOT LIMITED TO REMOVAL OF ALL ELECTRICAL PANELS, LIGHTING FIXTURES, RECEPTACLES, MOTOR DISCONNECTS, FIRE ALARM AND OTHER LOW VOLTAGE DEVICES). UNLESS NOTED OTHERWISE.
- 6. REMOVE ALL WIRES, CABLES AND SURFACE MOUNT RACEWAYS AND APPURTENANCES WHICH SERVE DEVICES BEING REMOVED, CUT CONDUIT FLUSH TO CEILING OR WALL WHEN CONCEALED, AND SEAL OFF WITH SPRAY FOAM. ABANDON FLUSH BOXES AND NON-ACCESSIBLE CONDUIT. PROVIDE COVER PLATES FOR ALL BOXES TO REMAIN.
- 7. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR ALL CUTTING, PATCHING AND FINISH WORK.
- 8. CONTRACTOR TO REMOVE AND DELIVER TO OWNER ALL DEVICES THAT ARE IDENTIFIED BY OWNER TO BE RETAINED. CONTRACTOR SHALL COORDINATE WITH OWNER TO ASSURE THAT ALL ITEMS TO BE RETAINED ARE IDENTIFIED PRIOR TO THE START OF DEMOLITION. ALL ITEMS NOT SO IDENTIFIED SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSE OF OFF SITE.
- 9. FIELD VERIFY EXISTING CONDITIONS AND RACEWAYS CAST IN CONCRETE.
- 10. E.C. SHALL CONFIRM WITH THE G.C. THE EXTEND OF ANY ARCHITECTURAL DEMOLITION PRIOR TO ANY ELECTRICAL DEMOLITION. E.C. IS RESPONSIBLE FOR ALL ELECTRICAL DEMOLITION AND MAINTAINING EXISTING EQUIPMENT AND CIRCUITING TO REMAIN.

BAU ARC ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA 98366

206 406 0522





IMPROVEMENT < TEN,

KCDEM

BID SET JULY 07, 2023 2021.03

8900 SW IMPER BREMERTON, \

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ELECTRICAL LEGEND & NOTES

BA NO:

CHECKED:

	TELECOMM / SY	STEM	SIFGEND
SYMBOL	DESCRIPTION TELECOTIVITY / O I	SYMBOL	
SAMROL	NETWORK INFRASTRUCTURE (ROUGH-IN ONLY)	SYMBOL	ACCESS CONTROL SYSTEM (ROUGH-IN ONLY)
	TELECOMMUNICATIONS OUTLET - ROUGH-IN ONLY. PROVIDE FLUSH WALL MOUNT 4/S BOX WITH SINGLE-GANG MUDRING AND ONE (1) 1" CONDUIT TO ACCESSIBLE CEILING SPACE OR CABLE TRAY. MOUNT AT +18" AFF UNLESS NOTED OTHERWISE. ("C" INDICATES ABOVE COUNTER. "#" SHOWN FOR REFERENCE ONLY - CABLING BY OTHERS. "TV" INDICATES OUTLET MOUNTED BEHIND TV - MOUNT ADJACENT TO POWER RECEPTACLE.) WIRELESS ACCESS POINT (WAP) TELECOMMUNICATIONS OUTLET - ROUGH-IN ONLY - CEILING MOUNT. COMBINATION FLOOR BOX. PROVIDE (1) 1-1/4" CONDUIT SEPARATE AND DEDICATED FOR TELECOMMUNICATIONS CABLING ROUTED UP TO THE ACCESSIBLE CEILING SPACE OR CABLE TRAY, UNLESS NOTED OTHERWISE. TELECOMMUNICATIONS TELEPHONE OUTLET - ROUGH-IN ONLY. PROVIDE FLUSH WALL MOUNT 4/S BOX WITH SINGLE GANG	ACP CR D ED REX POE DR	ACCESS CONTROL PANEL CARD READER - WALL MOUNT TO SINGLE-GANG BOX FLUSH TO WALL SURFACE AT +48" AFF. DOOR POSITION SWITCH ELECTRIFIED DOOR HARDWARE - REFER TO DIVISION 8 FOR EXACT DEVICE REQUEST TO EXIT MOTION SENSOR POWER-OVER-ETHERNET ELECTRIC LOCKSET DOOR RELEASE BUTTON
•	MUDRING AND (1) 1" CONDUIT TO ACCESSIBLE CEILING SPACE OR CABLE TRAY. MOUNT AT +48" AFF, UNLESS NOTED OTHERWISE.	IC	INTERCOM DOOR STATION
	CABLE TRAY - LADDER STYLE - PROVIDE SIZE AS SHOWN ON THE FLOOR PLANS		INTRUSION ALARM SYSTEM (ROUGH-IN ONLY)
	CABLE TRAY - WIRE MESH STYLE - PROVIDE SIZE AS SHOWN ON THE FLOOR PLANS	IACP	INTRUSION ALARM CONTROL PANEL
TMGB	TELECOMMUNICATIONS MAIN GROUNDING BAR - WALL MOUNT AT +18" AFF.		KEY PAD - WALL MOUNT AT 48" AFF, UNLESS NOTED OTHERWISE PROVIDE SINGLE-GANG BACKBOX WITH (1) 1"C TO
TGB	TELECOMMUNICATIONS GROUNDING BAR - WALL MOUNT AT +18" AFF.	KP	ACCESSIBLE CEILING SPACE.
12"x4" / 96" BOT	CABLE TRAY SIZE / ELEVATION CALLOUT / SERVICE TYPE	MS	MOTION SENSOR - WALL MOUNT IN THE CORNER AT +96" AFF, UNLESS OTHERWISE NOTED (LR INDICATES LONG RANGE BEAM). PROVIDE SINGLE-GANG BACKBOX WITH (1) 1"C TO ACCESSIBLE CEILING SPACE.
	AUDIO VISUAL SYSTEMS (ROUGH-IN ONLY)		DOOR POSITION SWITCH
AV1	A/V SYSTEM PROJECTOR LOCATION - SHOWN FOR REFERENCE ONLY - NO ROUGH-IN REQUIRED.		CCTV SYSTEM (ROUGH-IN ONLY)
AV2	A/V SYSTEM MONITOR LOCATION - PROVIDE RACO #256 BACKBOX WITH (1) 1-1/2" C. TO A/V RACK BACKBOX.	л	
AV3	A/V SYSTEM INPUT PANEL LOCATION - PROVIDE RACO #256 BACKBOX WITH (1) 1-1/2" C. TO A/V RACK BACKBOX. MOUNT AT +18" AFF.	← ©	CCTV CAMERA ROUGH-IN LOCATION - CEILING MOUNT. SEE SECURITY DETAILS FOR ADDITIONAL INFORMATION.
AV4	A/V SYSTEM MOTORIZED PROJECTION SCREEN LOCATION - PROVIDE 3/4" C. FROM LOW VOLTAGE PROJECTION SCREEN CONTROL BOX TO A/V RACK BACKBOX.	→ @H	CCTV CAMERA ROUGH-IN LOCATION - WALL MOUNT AT HEIGHT SHOWN. SEE SECURITY DETAILS FOR ADDITIONAL INFORMATION.
CP1	A/V SYSTEM CONTROL PANEL LOCATION - PROVIDE 4S BACKBOX WITH (1) 1" C. TO A/V RACK BACKBOX. MOUNT AT +48" AFF.		
(\$) _{AV}	A/V SYSTEM SPEAKER LOCATION - CEILING MOUNT - SHOWN FOR REFERENCE ONLY - NO ROUGH-IN REQUIRED.		PUBLIC ADDRESS SYSTEM (ROUGH-IN ONLY)
	EQUIPMENT AND WIRING	<u> </u>	PUBLIC ADDRESS LOUDSPEAKER ASSEMBLY - ROUGH-IN LOCATION SHOWN FOR REFERENCE ONLY.
	RACEWAY CONCEALED IN WALL OR CEILING		MISCELLANEOUS
	RACEWAY CONCEALED UNDERGROUND OR UNDER FLOOR SLAB	1	CONSTRUCTION NOTES
<u> </u>	GROUNDING SYSTEM PER CODE	1	DEMOLITION NOTES
0	JUNCTION BOX - SIZE PER CODE (F INDICATES FIRE ALARM SYSTEM)	101	DOOR NUMBER
	4-POST 19" RACK/ENCLOSURE (ARROW INDICATES AIRFLOW AT FRONT OF RACK) - SHOWN FOR REFERENCE ONLY - OFOI	1 A101 SIM	DETAIL CALL OUT - "1" INDICATES DETAIL IDENTIFICATION, "A101" INDICATES SHEET DRAWN ON
	2-POST 19" RACK (ARROW INDICATES AIRFLOW AT FRONT OF RACK) - SHOWN FOR REFERENCE ONLY - OFOI	\$ 5	ALL DEVICES WITH LIGHT LINE WEIGHT INDICATES EXISTING TO BE RETAINED
·		+ r 1 + 1/	ALL DEVICES WITH DASH LINE INDICATES EXISTING TO BE REMOVED
		=	ELECTRICAL POWER PANELS SHOWN FOR REFERENCE ON TELECOMM/ SYSTEMS DRAWINGS

GENERAL NOTES

- REVIEW ARCHITECTURAL REFLECTED CEILING PLANS FOR LOCATIONS OF AREAS WITH ACCESSIBLE CEILING SPACES, HARD LID CEILINGS, AND AREAS WITH CEILINGS THAT ARE OPEN TO STRUCTURE. PROVIDE SURFACE-MOUNTED DEVICES AND THEIR RELATED SURFACE MOUNT BACK BOXES IN AREAS WITH CEILINGS THAT ARE OPEN TO STRUCTURE. PAINT EACH BACKBOX TO MATCH THE ADJACENT SURFACE.
- 2. ROOMS AND/OR AREAS WITH EXPOSED CEILINGS SHALL HAVE ALL CABLES ROUTED IN CONDUIT. CONDUIT SHALL BE TIGHT TO STRUCTURE, ROUTED PARALLEL AND ADJACENT TO STRUCTURE, AND SHALL BE PAINTED TO MATCH ADJACENT SURFACE. SURFACE MOUNTED CONDUITS SHALL NOT BE UTILIZED IN OCCUPIED SPACES.
- FIRE WALLS SHOWN ARE DIAGRAMMATIC, REFER TO FINAL ARCHITECTURAL DRAWINGS FOR RATED WALLS, AND PROVIDE FIRE RATED PENETRATIONS FOR ALL CABLES TRANSITIONING THROUGH RATED WALLS. EC SHALL FIRE SEAL AROUND ALL CONDUITS PENETRATING THROUGH FLOORS, ROOF, AND FIRE RATED WALLS.
- WHERE OPEN CABLING IS PERMITTED BY CODE, EACH LOW VOLTAGE SYSTEM SHALL HAVE THEIR CABLES SUSPENDED SEPARATE FROM OTHER LOW VOLTAGE SYSTEMS (I.E. FIRE ALARM CABLES IN ONE J-HOOK, INTRUSION ALARM IN ANOTHER J-HOOK, AND SO ON). ALL CABLES MUST BE ROUTED IN CONDUIT IN AREAS WITH EXPOSED CEILINGS.
- 5. ALL OUTLETS, SWITCHES AND DEVICES MOUNTED BACK TO BACK IN A WALL, MUST LOCATED IN SEPARATE STUD BAYS, OR FURNISHED WITH SOUND ATTENUATING MATERIAL AROUND THE BOX TO MEET ACOUSTICAL REQUIREMENTS.

- 6. ALL TYPICAL DEVICES SHALL BE MOUNTED AT CONSISTENT LOCATIONS AND HEIGHTS THROUGHOUT THIS PROJECT, UNLESS NOTED OTHERWISE. INSTALL ALL TELECOMMUNICATIONS OUTLETS AT CONSISTANT DISTANCE TO ADJACENT RECEPTACLES.
- 7. SEE THE SITE PLANS FOR ADDITIONAL WORK.
- 8. CAMERAS SHALL BE LOCATED AS SUCH TO AVOID RESTRICTING THE CAMERAS FIELD OF VIEW FROM: EXIT SIGNS, LIGHTING, DOOR HEADERS, BUILDING FEATURES, BANNERS, OR OTHER (ART) ITEMS HANGING FROM THE CEILING. COORDINATE WITH ALL TRADES AS REQUIRED PRIOR TO ROUGH-IN.
- REVIEW ALL EXTERIOR MOUNTED EQUIPMENT FOR AIR BARRIER PENETRATIONS. SEE ARCHITECTURAL DETAILS FOR REQUIREMENTS ON MAINTAINING THE BUILDING'S ENVELOPE.
- 10. SEE ALL DETAIL SHEETS AND RISER DIAGRAMS FOR ADDITIONAL WORK REQUIRED BY SECTION 272000.
- 11. FOR ALL BACKBOXES THAT ARE ROUGHED IN FOR ITEMS IDENTIFIED ON THE PLANS, PROVIDE APPROPRIATE BLANK COVER PLATES (WEATHERPROOF IF EXTERIOR).

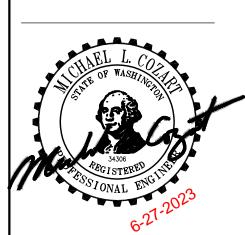
	ABBREVIATIONS
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
BAS	BUILDING AUTOMATION SYSTEM
ВСТ	BONDING CONDUCTOR FOR TELECOMMUNICATIONS
BET	BUILDING ENTRANCE TERMINAL
BMS	BUILDING MANAGEMENT SYSTEM
ВОТ	BOTTOM OF TRAY
С	MOUNT ABOVE COUNTER
C.	CONDUIT
CFCI	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED
CO	CONDUIT ONLY
CU	COPPER
DDC	DIRECT DIGITAL CONTROL
EC	ELECTRICAL CONTRACTOR
EF	TELECOMMUNICATIONS ENTRANCE FACILITY (MDF)
ER	TELECOMMUNICATIONS EQUIPMENT ROOM (MDF)
FOC	FIBER OPTIC CABLE
G	GROUND FAULT
GC	GENERAL CONTRACTOR
GE	GROUNDING EQUALIZER
GEC	GROUNDING ELECTRODE CONDUCTOR
GR	GROUND
IDF	INTERMEDIATE DISTRIBUTION FRAME (TR/TE)
LIU	LIGHT INTERFACE UNIT (INCLUDES FIBER SPLICE TRAY AND PATCH PANEL)
MDF	MAIN DISTRIBUTION FRAME (ER/EF)
MM	MULTI MODE (FOC)
REQ'D	REQUIRED
SBG	SUPPLEMENTARY BONDING GRID
SM	SINGLE MODE (FOC)
SPD	SURGE PROTECTIVE DEVICE
TBB	TELECOMMUNICATIONS BONDING BACKBONE
TE	TELECOMMUNICATIONS ENCLOSURE (IDF)
TGB	TELECOMMUNICATIONS GROUNDING BUS BAR
TMGB	TELECOMMUNICATIONS MAIN GROUNDING BUS BAR
TR	TELECOMMUNICATIONS ROOM (IDF)
UC	UNDER COUNTER
UG	UNDERGROUND
W	WEATHERPROOF (PROVIDE WEATHERPROOF COVER/DEVICE WHERE SHOWN ON PLANS)
WAP	WIRELESS ACCESS POINT
WG	WIRE GUARD (PROVIDE ON DEVICES WHERE SHOWN ON PLANS)
XMFR	TRANSFORMER

BAUARC ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA

206 406 0522





IMPROVEMENT TENA

KCDEM

REVISION SCHEDULE

8900 SW IMPEF BREMERTON, \

BID SET JUL7 07, 2023 BA NO: 2021.03 CHECKED:

SYSTEMS LEGEND

GENERAL NOTES FOR LIGHTING FIXTURE SCHEDULE

. SEE DRAWINGS FOR EMERGENCY LIGHTING FIXTURES.

2. FOR LIGHTING CONTROLS WHICH INCLUDE DAYLIGHT, OCCUPANCY SENSORS AND TIME CLOCK CONTROLS, THE ELECTRICAL CONTRACTOR SHALL PROVIDE TESTING OF THE CONTROL DEVICES, COMPONENTS, EQUIPMENT AND SYSTEMS TO MAKE SURE THEY ARE CALIBRATED, ADJUSTED AND OPERATE IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS. SEQUENCES OF OPERATION SHALL BE FUNCTIONALLY TESTED IN THE PRESENCE OF THE ENGINEER. A COMPLETE REPORT OF TEST PROCEDURES AND RESULTS SHALL BE PREPARED AND FILED WITH THE OWNER.

3. FIXTURE TYPES LISTED ARE TO INDICATE THE TYPE OF STYLE, LAMPING CHARACTERISTICS AND MOUNTING REQUIRED TO FACILITATE THE DESIGN. OTHER FIXTURE MANUFACTURERS MEETING THE LIGHT FIXTURE TYPE CRITERIA ARE ACCEPTABLE UPON EVALUATION BY THE ENGINEER.

& REMARKS
COLOR.
12"L x 6"D CONCRETE JNTING OF LIGHT
COLOR
COLOR
OF UPPER CASEWC WORK INSTALLER.
IRROR. ARCHITECT
COLOR
COLOR
-

COMMISSIONING REQUIREMENTS FOR LIGHTING CONTROL SYSTEM, CONTROLLED RECEPTACLES AND METERING

- 1. LIGHTING CONTROL SYSTEMS AND CONTROLLED RECEPTACLES SHALL BE TESTED AND VERIFIED PER WASHINGTON STATE ENERGY CODE SECTION C408.4.1.
- 2. FUNCTION PERFORMANCE TESTING SHALL DEMONSTRATE THAT THE OCCUPANT SENSORS, TIME SWITCHES, MANUAL OVERRIDES, NIGHT SWEEP-OFF, DAYLIGHT RESPONSIVE CONTROL, AND CONTROLLED RECEPTACLES ARE INSTALLED AND OPERATE IN ACCORDANCE WITH APPROVED CONSTRUCTION DOCUMENTS. TESTING SHALL INCLUDE THE SEQUENCE OF OPERATION AND BE CONDUCTED UNDER THE FOLLOWING CONDITIONS:
- A. NORMAL OPERATION
- B. REDUNDANT OR AUTOMATIC BACK-UP MODE
- C. PERFORMANCE OF ALARMS AND
- D. MODE OF OPERATION UPON A LOSS OF POWER AND RESTORATION OF POWER.
- 3. METERING EQUIPMENT, COMPONENTS, CONTROLS AND CONFIGURATION SETTINGS INCLUDED IN THIS PROJECT SHALL BE INCLUDED IN THE COMMISSIONING PROCESS. FUNCTION PERFORMANCE TESTING SHALL INCLUDE FUNCTION AND MAINTENANCE SERVICEABILITY. TESTING SHALL INCLUDE THE SEQUENCE OF OPERATION AND BE CONDUCTED UNDER THE FOLLOWING CONDITIONS:
- A. METERING SYSTEM DEVICES AND COMPONENTS WORK PROPERLY UNDER LOW AND HIGH LOAD CONDITIONS.
- B. METERING DATA IS DELIVERED IN A FORMAT THAT IS COMPATIBLE WITH THE BUILDING ENERGY MANAGEMENT SYSTEM.

			LOAD		CIR	CUIT			MA ONETIC	ELIGED DIO C		DUCT	
EQUIP.	VOLT/PH	VA	MCA	HP	PANEL	BKR	CONDUIT/WIRE SIZE (CU) (NOTE 4)	MANUAL STARTER (NOTE 1)	STARTER	FUSED DISC. WITH FUSES (NOTES 1 & 5)	MOTOR RATED DISC. SWITCH. (NOTE 1)	DUCT DETECTOR (NOTE 2)	REMARKS
EF- 1	120/1	696	5.8	1/4	RM1	1	3/4" C., (2)#12 & (1) #12 GR	MFR			EC		
**************************************	00-40-40-00-40-40-40-40-40-40-40-40-40-4		10 110 1 0 1 0 1 0 1 0 1 0 1 0 1 0 1 0	9 · 8 · 10 · 10 · 10 · 10 · 10 · 10 · 10		(a)		30 100 100 100 100 100 100 100 100 100 1	400-40-40-40-40-40-40-40-40-40-40-40-40-			0+-01-01-0-0-0-0-0-0-0-0-0-0-0-0-0-0-0-0	
EH- 1	120/1	1900	15.6		RM1	3	3/4" C., (2)#12 & (1) #12 GR		MFR		EC		
EH- 2	120/1	1900	15.6		RM1	5	3/4" C., (2)#12 & (1) #12 GR		MFR		EC		
OOAU- 1	208/1	5512	26.5		RM1	2,4	1" C., (3) #8 & (1) #10 GR		MFR	EC-35A			NOTE 3 & 6
OOAU- 2	208/3	12733	35.4		RM1	14,16,18	1" C., (4) #8 & (1) #10 GR		MFR	EC-40A			NOTE 3 & 6
OOAU- 3	120/1	2964	24.7		RM1	6	3/4" C., (2)#8 & (1) #10 GR		MFR	EC-35A			NOTE 3 & 6
OOAU- 4	120/1	2964	24.7		RM1	8	3/4" C., (2)#8 & (1) #10 GR		MFR	EC-35A			NOTE 3 & 6
DH- 1	208/3	3500	12.2	****	RM2	1,3,5	3/4" C., (4)#12 & (1) #12 GR	40.0.0.0.0.0.0.0.0.0.0.0.0.0.0.0.0.0.0.		EC-20A		48 (8) 8 + 8 + 8 + 8 + 8 + 8 + 8 + 8 + 8 + 8	
DH- 2	208/3	4200	14.6	····	RM2	7,9,11	3/4" C., (4)#12 & (1) #12 GR	40.000		EC-20A		*****************************	
DH- 3	208/3	1100	3.8		RM2	2,4,6	3/4" C., (4)#12 & (1) #12 GR			EC-20A			
DH- 4	208/3	1000	3.5	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	RM2	8,10,12	3/4" C., (4)#12 & (1) #12 GR			EC-20A			
	00044			***************************************		7.0	410 (0) (0) (0) (1) (1)			E0.054			
HP- 1A	208/1	4514	21.7		RM1	7,9	1"C., (3) #8 & (1) #10 GR		MFR	EC-35A			DUOT UE ATED
HP- 1B	208/1	7500	45.07		RM2	13,15	1"C., (3) #8 & (1) #10 GR		NACD	EC-50A			DUCT HEATER
HP- 2A	208/1	4514	21.7		RM1	11,13	1"C., (3) #8 & (1) #10 GR		MFR	EC-35A			DUOT LIE ATED
HP- 2B HP- 3A	208/1	7500	45.07	**********************	RM2	17,19	1"C., (3) #8 & (1) #10 GR		NACD	EC-50A		*************************************	DUCT HEATER
HP- 3B	208/1 208/1	1560 5000	7.5 30		RM1 RM2	15,17 14,16	3/4"C., (3) #12 & (1) #12 GR		MFR	EC-15A EC-30A			DUCT HEATER # 1
HP- 3C	208/1	10000	60		RM2	18,20	3/4"C., (3) #10 & (1) #10 GR 1"C., (3) #6 & (1) #8 GR			EC-30A EC-60A			DUCT HEATER # 1
				**************************************		ļ		**************************************	MED			D+-214162624242424242424242	DOCT REATER #2
HP- 4A HP- 4B	208/1 208/1	541 5000	2.6 30	******************	RM1 RM2	19,21 22,24	3/4"C., (3) #12 & (1) #12 GR 3/4"C., (3) #10 & (1) #10 GR		MFR	EC-15A EC-30A		***************************************	 DUCT HEATER # 1
HP- 4C	208/1	10000	60		RM2	26,28	1"C., (3) #6 & (1) #8 GR			EC-50A			DUCT HEATER #2
HP- 5A	208/1	5491	26.4		RM1	23,25	1"C., (3) #8 & (1) #10 GR		MFR	EC-40A			DOOT FILATER #2
HP- 5B	208/1	7500	45.07	*****	RM2	21,23	1"C., (3) #8 & (1) #10 GR		IVIIIX	EC-50A			DUCT HEATER
	200/1	7000	10.07	***************************************	I (IVIZ	21,20	1 0., (0) 110 0 (1) 1110 011			20 00/1			BOOTHEATER
ICU- 1	208/1	4160	20		RM1	27,29	1"C., (3) #10 & (1) #10 GR		MFR	EC-30A			
CU- 1	208/1	4160	20		RM1	31,33	1"C., (3) #10 & (1) #10 GR		MFR	EC-30A			NOTE 3
1+ 0+ 4+ 0+ 0+ 0+ 0+ 0+ 0+ 0+ 0+ 0+ 0+ 0+ 0+ 0+	W- 40-10-02-12-12-12-12-13-14-11-11-11-11-11-11-11-11-11-11-11-11-			**************************************	30 (10 (10) 30) 30 (30) 30 (30) 30 (30) 30 (30) 30 (30)			# 10-03-03-03-04-0-0-0-0-0-0-0-0-0-0-0-0-0-	80-51-50-10-10-10-10-10-10-10-10-10-10-10-10-10			Der der der die Ga von Halten der der der der der der der Halten der der Halten der Halt	
OCU- 1	208/1	4514	21.7		RM1	20,22	1"C., (3) #8 & (1) #10 GR		MFR	EC-35A			NOTE 3
OCU- 2	208/1	4514	21.7		RM1	24,26	1"C., (3) #8 & (1) #10 GR		MFR	EC-35A			NOTE 3
OCU- 3	208/1	6656	32	····	RM1	28,30	1"C., (3) #6 & (1) #10 GR		MFR	EC-50A			NOTE 3
OCU- 4	208/1	6656	32		RM1	32,34	1"C., (3) #6 & (1) #10 GR		MFR	EC-50A			NOTE 3
OCU- 5	208/1	5491	26.4		RM1	36,38	1"C., (3) #8 & (1) #10 GR		MFR	EC-40A			NOTE 3
HWT- 1	208/1	9000	54		RM1	35,37	1-1/4"C., (3) #6 & (1) #10 GR			EC-60A			
CP- 1	120/1	33	0.3		RM1	39	3/4" C., (2)#12 & (1) #12 GR	EC			EC		ROUTE CIRCUIT THROUGH AQUA-STA

- NOTE: 1. CONTRACTOR LISTED SHALL FURNISH AND INSTALL THE LISTED DEVICE.
 - 2. DUCT SMOKE DETECTORS SHALL BE FURNISHED AND WIRED BY THE ELECTRICAL CONTRACTOR AND INSTALLED BY THE MECHANICAL CONTRACTOR.
 - 3. PROVIDE WEATHERPROOF DEVICES AND CONNECTIONS.
 - 4. ALL FEEDERS TO MECHANICAL EQUIPMENT ARE TO BE COPPER.
 - 5. FUSES SHALL BE SIZED PER EQUIPMENT MANUFACTURER SUGGESTED RATING AS LISTED ON THE EQUIPMENT
 - 6. VFD FURNISHED BY MC, EC TO INSTALL AND PROVIDE CONNECTIONS TO IT FOR MECHANICAL EQUIPMENT.

2019 \	WASHINGTON STATE	ENERGY (CODE CO	OMPLIA	NCE R	EFERENCES
CODE REFERENCE	DESCRIPTION	TOTAL SQ. FT. OF EGRESS PATH	FIXTURE TYPE	TOTAL WATTAGE	W/SQ.FT	COMPLIANCE METHOD
C405.2.5 - ITEM 7	MEANS OF EGRESS LIGHTING - 1st FLOOR	4079	RL3E/RL2E/ PL1E	566	0.14	EGRESS LIGHTS ARE OCCUPANCY SENSOR CONTROLLED AFTER 10:00 P.M.
C405.2.5 - ITEM 7	MEANS OF EGRESS LIGHTING - 2nd FLOOR	3607	RL3E/PL1E	378	0.10	EGRESS LIGHTS ARE OCCUPANCY SENSOR CONTROLLED AFTER 10:0 P.M.
CODE REFERENCE	DESCRIPTION	FIXTURE EFFICACY	FIXTURE TYPE	FIXTURE WATTAGE		COMPLIANCE METHOD
C405.5.1	EXTERIOR BUILDING GROUNDS LIGHTING CONTROLS EXTERIOR BUILDING GROUNDS	64	AH2	112		LIGHTS PROVIDED WITH OCCUPANCY SENSORS MOUNTED ON THE POLES LIGHTS PROVIDED WITH
C405.5.1	LIGHTING CONTROLS	64	AH1	224		OCCUPANCY SENSORS MOUNTED ON THE POLES
CODE REFERENCE	DESCRIPTION	LOCATION OF MASTER SWITCH	MAX AMPACITY PER LIGHTING CIRCUIT	MAX WATTAGE PER LIGHTING CIRCUIT		COMPLIANCE METHOD
C405.2.5	AREA CONTROLS - MASTER CONTROL SWITCHES AND CIRCUIT POWER LIMIT	ADMIN AREA 101	16 AMPS	1920 WATTS		SWITCH CONTROLS ALL CORRIDOR LIGHTING - THERE ARE INDIVIDUAL SWITCHES ALSO AT CORRIDORS FOR INDEPENDENT CONTROL

LIGHTING & CONTROLLED RECEPTACLES SEQUENCE OF OPERATION

GENERAL REQUIREMENTS

1. PROVIDE AUXILIARY CONTACT FOR INTERFACE TO ENERGY MANAGEMENT SYSTEM FOR CONTROL OF EQUIPMENT DURING UNOCCUPIED TIMES.

2. VACANCY/OCCUPANCY SENSORS SHALL BE CONNECTED TOGETHER FOR CONTROL OF ALL LIGHTS IN THE ROOM. SET UP SENSORS IN VACANCY MODE. VACANCY SENSOR TIME OUT PERIOD SHALL BE SET FOR 20-MINUTES

3. PHOTOCELLS TO BE INTEGRAL TO THE LIGHT FIXTURES WHEN THEY CAN BE OR INSTALLED IN EDGE OF PRIMARY AND SECONDARY DAYLIGHT ZONES. TRIGGER ONE OF THE PHOTOCELLS TO CONTROL LIGHTS IN PRIMARY DAYLIGHT ZONES, TRIGGER TWO OF THE PHOTOCELLS TO CONTROL LIGHTS IN SECONDARY DAYLIGHT ZONES. 4. PROGRAMMING SHALL BE PROVIDED FOR TIME ADJUSTMENT OF LIGHTS ON SITE.

5. ALL LIGHTS WHERE INDICATED SHALL BE CONTROLLED VIA 0-10V DIMMING. 6. THE LIGHTING CONTROL SYSTEM SHALL BE NETWORKED WITH/WITHOUT THE USE OF BATTERIES.

EOC/CONFERENCE ROOM LIGHTING CONTROLS

1. ROOM LIGHTS (DESIGNATION 'c')

- a. LIGHTS IN PRIMARY DAYLIGHT ZONE (DZ1) DIM CONTROLLED WITH PHOTOCELL - TRIGGER LEVEL 1. LIGHTS TO BE PROGRAMMED TO OPERATE TOGETHER AS (1) ZONE. NO MORE THAN (8) LUMINAIRES PER ZONE.
- 2. ROOM LIGHTS (DESIGNATION 'd')
- a. LIGHTS IN SECONDARY DAYLIGHT ZONE (DZ2) DIM CONTROLLED WITH PHOTOCELL - TRIGGER LEVEL 2. LIGHTS TO BE PROGRAMMED TO OPERATE TOGETHER AS (1) ZONE. NO MORE THAN (8) LUMINAIRES PER ZONE.
- 3. ALL LIGHTS SHALL BE CONTROLLED VIA 0-10V DIMMING.
- 4. DIMMER SWTICH 1 CONTROL STATION
 - a. BUTTON 1 'a' -
 - i. Label: On/OFF; UP/DOWN
 - ii. FUNCTION: LIGHTS ON FULL LEVEL; MANUAL DIM b. BUTTON 2 'b' -
 - i. LABEL: ON/OFF; UP/DOWN ii. FUNCTION: LIGHTS ON FULL LEVEL; MANUAL DIM
 - c. BUTTON 1 'c' -

 - i. LABEL: ON/OFF; UP/DOWN; PHOTO CELL ENABLED
 - ii. FUNCTION: LIGHTS ON FULL LEVEL; MANUAL DIM
 - d. BUTTON 1 'd' i. LABEL: ON/OFF; UP/DOWN; PHOTO CELL ENABLED
- ii. FUNCTION: LIGHTS ON FULL LEVEL; MANUAL DIM
- 5. CONTROLLED RECEPTACLES TO BE CONNECTED TO A RELAY FOR TIME CLOCK ON/OFF FUNCTION.

INDIVIDUAL ROOM LIGHTING CONTROLS

- a. LIGHT FIXTURES SHALL HAVE AN OCCUPANCY SENSOR AND PHOTOCELL. LIGHTS SHALL BE PROGRAMMED TO OPERATE TOGETHER.
- b. A DIMMER SWITCH SHALL BE PROVIDED ON THE WALL TO ALLOW ADJUSTMENT OF THE LIGHTING LEVEL.
- c. SENSORS SHALL BE SET TO VACANCY MODE SO THAT THE USER IS REQUIRED TO PRESS A BUTTON ON THE WALL STATION TO TURN ON THE
- 2. CONTROLLED RECEPTACLES TO BE CONNECTED TO A RELAY FOR TIME CLOCK ON/OFF FUNCTION.

HALLWAYS/RESTROOMS

- 1. LIGHTS CONTROLLED BY TIME CLOCK OR EMCS SYSTEM.
- 2. OCCUPANCY SENSOR OVERRIDE TO 'ON' UPON AFTER HOURS ACTIVATION.
- 3. OCCUPANCY SENSORS TO REDUCE LIGHTING LEVEL TO 50% DURING NORMAL OPERATION TIME UPON NO ACTIVITY AFTER 15 MINUTES, EXCEPT FOR LIGHTS ON EMERGENCY INVERTER WHICH SHALL REMAIN FULL ON DURING SCHOOL HOURS.

EXTERIOR LIGHTING CONTROL RELAY SCHEDULE "LCP" TIME CLOCK PHOTOCELL RELAY EXTERIOR AREA OF CONTROL | PANEL | CIRCUIT # | CONTROLLE | CONTROLLED | NUMBER NOTES

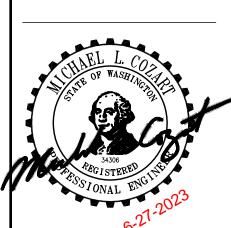
EXTERIOR LIGHTING -WALKWAY			OFF at 11:00	ON at dawn &		VERIFY OPERATION SEQUENCE
BOLLARD LIGHTS	L1	8	pm	dusk	r1	AND TIMES WITH OWNER
FLAG POLE LIGHTS	L1	10		ON/OFF	r2	DUSK TO DAWN OPERATION
COVERED ENTRY CANOPY			OFF at 11:00	ON at dawn &		VERIFY OPERATION SEQUENCE
LIGHTS/FRONT EAVE	L1	14	pm	dusk	r3	AND TIMES WITH OWNER
			OFF at 11:00	ON at dawn &		VERIFY OPERATION SEQUENCE
WALL MOUNTED LIGHTS	L1	14	pm	dusk	r4	AND TIMES WITH OWNER
			OFF at 11:00	ON at dawn &		VERIFY OPERATION SEQUENCE
BACK CANOPY LIGHTS	L1	6	pm	dusk	r5	AND TIMES WITH OWNER.

BAU ARC

ARCHITECTURE

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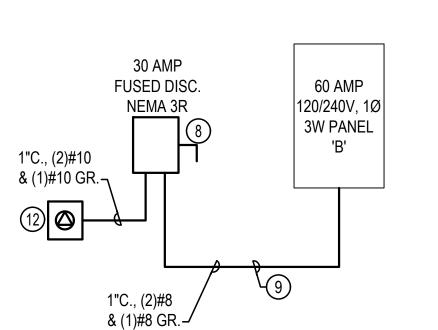




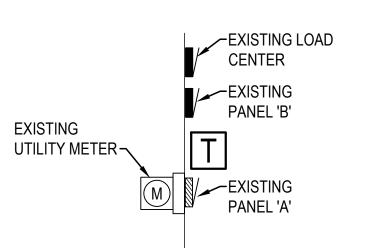
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FIXTURE, MECHANICAL SCHEDULE, LIGHTING CONTROLS



TEMP TRAILER SERVICE



EXISTING ELECTRICAL ROOM LAYOUT

GENERAL NOTES

- COORDINATE ALL ROUTING OF UNDERGROUND CONDUITS WITH OTHER EXISTING AND NEW UTILITIES. COORDINATE LOCATIONS WITH ARCHITECTURAL, CIVIL, MECHANICAL AND LANDSCAPE PLANS.
- ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL HANDHOLES TO MEET THE UTILITIES BEND QUANTITY REQUIREMENT. DEPENDING ON THE ACTUAL CONDUIT ROUTING, CONTRACTOR MAY ADD ADDITIONAL HANDHOLES.
- SEE SHEET E6.01 FOR TRENCHING AND CONCRETE POLE BASE DETAILS.
- CONDUIT AND PIPE ROUTING SHOWN IS DIAGRAMMATIC. CONTRACTOR SHALL FIELD VERIFY ALL CONDUIT AND PIPE ROUTING AND INSTALLATION REQUIREMENTS PRIOR TO ROUGH-IN.
- ELECTRICAL CONTRACTOR TO COORDINATE AND COMPLY WITH PSE, AND NEC REQUIREMENTS.
- SEE ONE-LINE DIAGRAMS FOR CONDUIT/CONDUCTORS INFORMATION.
- COORDINATE PRIMARY POWER WORK WITH PSE POWER.
- PROVIDE MINIMUM OF 1" C. W / (2)#10 CU. & (1)#10 CU GND. FOR ALL EXTERIOR CIRCUITS.
- PROVIDE PULL STRINGS IN ALL SPARE OR EMPTY CONDUITS.
- 10. SEE EXTERIOR LIGHTING CONTROL RELAY SCHEDULE 'LCR' ON SHEET E6.02 FOR SITE LIGHTING CIRCUITING INFORMATION.
- 11. HANDHOLES SHALL BE FOG-TITE TYPE 2 OR EQUAL. UNLESS SPECIFICALLY NOTED OTHERWISE.
- 12. IN ADDITION TO ELECTRICAL PLANS, REFER TO ARCHITECTURAL ELEVATIONS FOR ADDITIONAL INFORMATION ON EXTERIOR DEVICE LOCATIONS AND HEIGHTS.

CONSTRUCTION NOTES

- PROVIDE (1) 2" C. FROM RACK IN HAM RADIO ROOM 106 ROUTED TO VAULT AND (1) 2" C. FROM VAULT ROUTED TO BASE OF HAM RADIO TOWER. COORDINATE WITH OWNER FOR EXACT LOCATIONS AND REQUIREMENTS PRIOR TO ROUGH-IN.
- PROVIDE OLD CASTLE 3030 LA VAULT WITH TRAFFIC-RATED LID FOR INCOMING COMM.
- PROVIDE CONDUIT FROM VAULT TO FA 113 ROOM: (1) 2" C. FOR SERVICE PROVIDER (1) 2" C. FOR SPARE
- PROVIDE (1) 2" C. RISER WITH OFFSETS & ATTACHMENT HARDWARE AS REQUIRED. UP ENTIRE LENGTH OF POLE (APPROX. 20'). PROVIDE WEATHERHEAD AT TOP OF CONDUIT RISER.
- PROVIDE UTILITY VAULT 3030 LA FOR FUTURE USE.
- PROVIDE (2) 4" C.O. FROM MDB TO VAULT.
- PROVIDE FOG-TITE TYPE 2 HANDHOLE WITH TRAFFIC RATED COVER FOR EV CHARGING STATIONS IN THE FUTURE.
- PROVIDE 30 AMP-2 POLE NEMA 3R FUSED DISCONNECT SWITCH WITH
- ROUTE BACK TO EXISTING PANEL 'B' IN ELECTRICAL ROOM.
- NOTE NOT USED.
- PROVIDE A TEMPORARY SUPPORT FOR THE DISCONNECT SWITCH AND PLUG FOR TRAILER.
- PROVIDE 30A; 240V NEMA 3R OUTLET FOR TRAILER CONNECTION. VERIFY WITH OWNER FOR REQUIREMENTS.
- PROVIDE #1/0 AND (2) 10'-0"L GROUND RODS WITH CONNECTION TO THE
- EXISTING ELECTRICAL EQUIPMENT TO BE DISCONNECTED & REMOVED FOR INSTALLATION OF NEW SERVICE. COORDINATE WITH THE UTILITY & OWNER.

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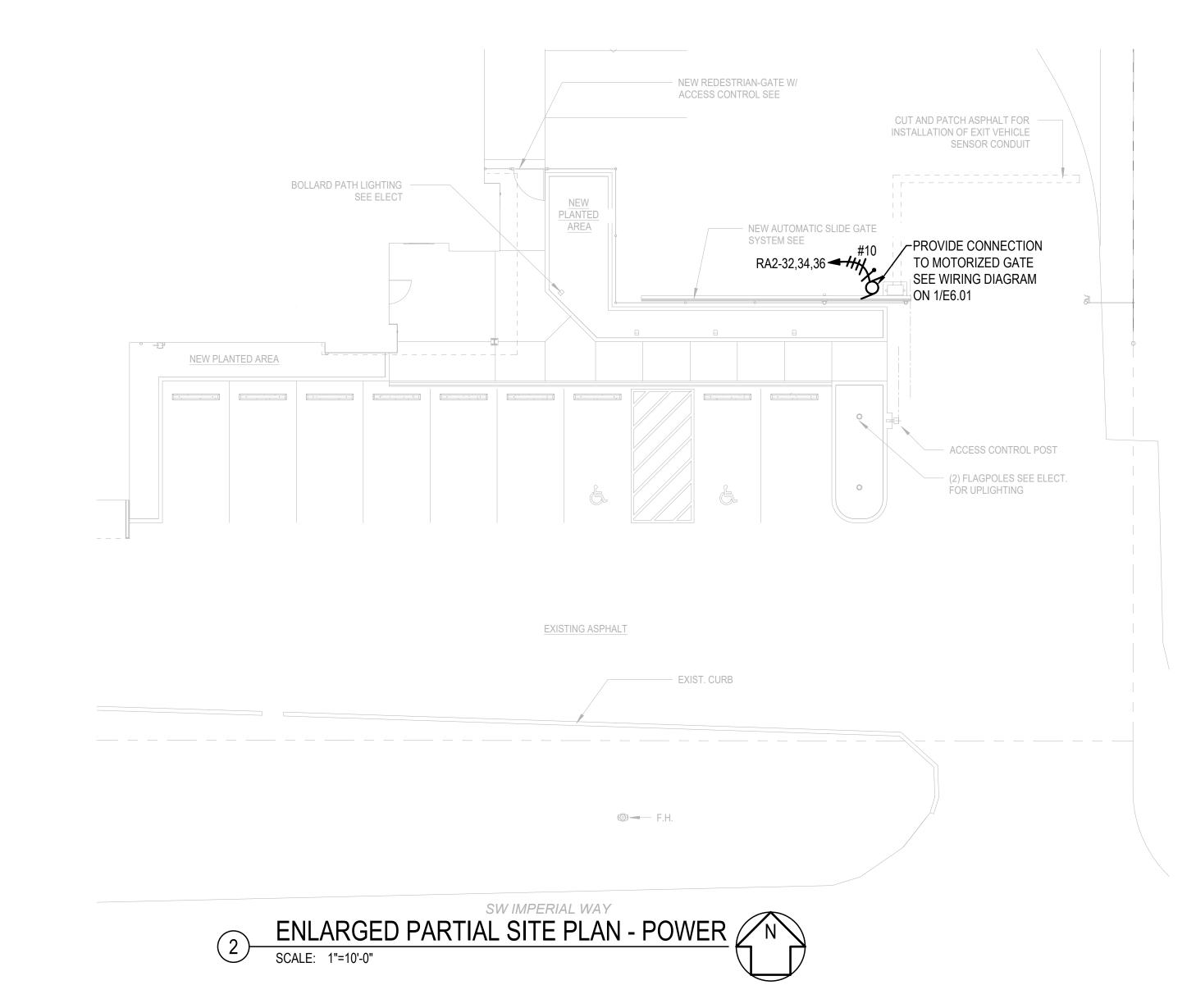
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OVERALL ELEC. SITE PLAN

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SW IMPERIAL WAY

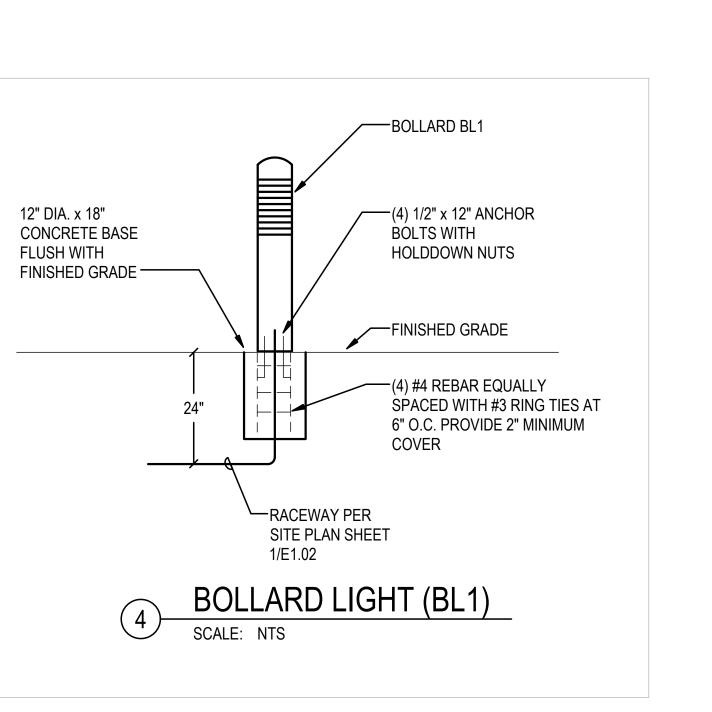


GENERAL NOTES

- 1. SEE GENERAL NOTES ON E1.01.
- 2. ROUTE EXTERIOR LIGHTING CIRCUITS THROUGH LCP FOR CONTROL.
- 3. PROVIDE #10 CONDUCTORS FOR ALL EXTERIOR CIRCUITS.

CONSTRUCTION NOTES

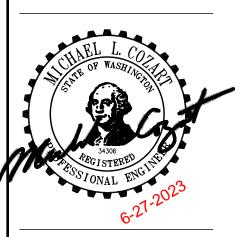
- PROVIDE CONDUIT FOR ACCESS CONTROL BETWEEN
 PEDESTAL AND GATE MOTOR CONTROLLER.
 COORDINATE WITH GATE INSTALLER AND OWNER'S
 SECURITY VENDOR FOR LOCATION AND
 REQUIREMENTS PRIOR TO ROUGH IN.
- PROVIDE CONDUIT FOR ACCESS CONTROL BETWEEN
 GATE MOTOR CONTROLLER AND ACCESSIBLE CEILING
 SPACE OF BUILDING. COORDINATE WITH GATE
 INSTALLER FOR LOCATION AND REQUIREMENTS PRIOR
 TO ROUGH IN.
- 3 SEE BOLLARD MOUNTING DETAIL THIS SHEET.
- PROVIDE CONCRETE BASE FOR MOUNTING OF FLAG POLE LIGHTS.



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KCDEM TENANT IMPROVEMENT

8900 SW IMPERIAL W BREMERTON, WA 98

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ENLARGED SITE PLANS

E1.02

GENERAL NOTES

- PROVIDE UNSWITCHED 'HOT LEG' TO EMERGENCY FIXTURES WITH BATTERY BACK-UP.
- ALL AREAS WHERE THE UNDERSIDE OF THE ROOF IS EXPOSED. THE CONDUCTOR SHALL BE RAN IN EMT CONDUIT.
- 3. PROVIDE DIMMING CONTROL WIRES TO ALL LIGHT FIXTURES.
- 4. CONNECT ALL EXIT SIGNS AND EGRESS LIGHTING TO THE LIGHTING CIRCUIT WITHIN EACH ROOM.

CONSTRUCTION NOTES

- (1) MOUNT PHOTOCELL ON EXTERIOR SIDE EDGE OF CANOPY.
- 2 COORDINATE MOUNTING OF LIGHTS WITH WOOD CEILING INSTALLER.
- 3 CONNECT LIGHT TO AN EMERGENCY LIGHTING INVERTER.
- PROVIDE A 100VA EMERGENCY LIGHTING INVERTER FOR TYPE PL1E LIGHTS. MOUNT UP HIGH ON WALL APPROX. 3'-0" ABOVE CEILING PLANE. (BODINE ELIS-100 OR EQUAL).
- CONNECT ALL LIGHT FIXTURES IN THIS AREA TO CIRCUIT L1-5.

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IMPROVEMENT

KCDEM TENA

8900 SW IMPERIAL WAY BREMERTON, WA 98312

REVISION SCHEDULE

DATE: JUL7 07, 2023
BA NO: 2021.03
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LEVEL 1 LIGHTING PLAN

E2.01

LEVEL 1 POWER PLAN

GENERAL NOTES

SEE SHEET E6.01 FOR SWITCHED RECEPTACLE DETAIL.

CONSTRUCTION NOTES

- (1) POWER AT THE CEILING FOR A PROJECTOR.
-) MANUAL TRANSFER SWITCH FOR PORTABE GENERATOR.
- 3) LOCATION FOR FUTURE SOLAR PANEL EQUIPMENT.
- PROVIDE CONNECTION TO MOTORIZED OVERHEAD DOORS & CONTROLS. COORDINATE WITH INSTALLER PRIOR TO ROUGH-IN.
- PROVIDE GFCI CIRCUIT BREAKER.
- (6) PROVIDE CONNECTION TO POWER PARTITION.
- (7) PROVIDE CONNECTION TO BALLOT SORTING MACHINE.
 - PROVIDE CONNECTION TO VACUUM PUMP.
- 9) CONFIRM NEMA TYPE WITH OWNER PRIOR TO ORDER.
- PROVIDE NEMA 3R CT CAN & CT'S PER PSE REQUIREMENTS.
- 11) POWER FOR INSTRUSION ALARM CONTROL PANEL. CONNECT TO CIRCUIT RA2-29.
- 12) POWER FOR ACCESS CONTROL PANEL. CONNECT TO CIRCUIT RA2-31.
- 13) POWER FOR MOTORIZED PROJECTION SCREEN. COORDINATE EXACT LOCATION AND MOUNTING HEIGHT WITH OWNER PRIOR TO ROUGH-IN.
- 14) SWITCHES FOR MOTORIZED PROJECTION SCREENS. COORDINATE EXACT LOCATION AND MOUNTING HEIGHT WITH OWNER PRIOR TO ROUGH-IN.

ARCHITECTURE

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KCDEM TENANT IMPROVEMENT 8900 SW IMPERIAL WAY BREMERTON, WA 98312

REVISION SCHEDULE

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DATE: JUL7 07, 2023
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LEVEL 1 POWER PLAN

E3.01

B A U ARC ARCHITECTURE

> 1230 BAY STREET PORT ORCHARD, WA 206 406 0522





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ROOFTOP POWER PLAN

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ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522

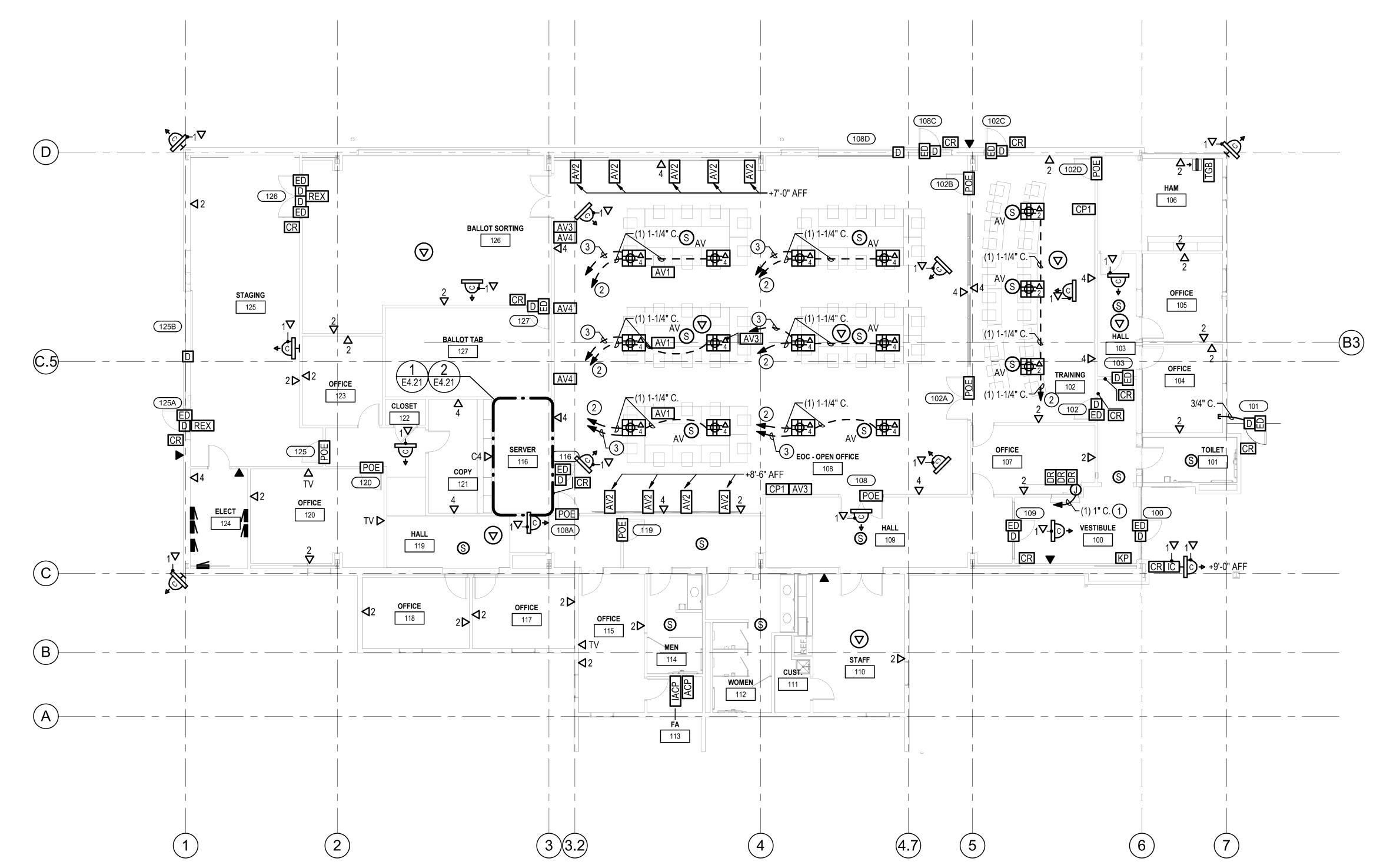
6021 12th Street East, Suite 200 Fife, Washington 98424 T: 253.922.0446 F: 253.922.0896

JUL7 07, 2023 2021.03 CT

LEVEL 1 SYSTEMS PLAN

BA NO: CHECKED:

E4.01



LEVEL 1 SYSTEMS PLAN

GENERAL NOTES

- 1. SEE SHEET E4.21 FOR A/V RACK BACKBOX LOCATION.
- 2. SEE SHEET E7.01 FOR ADDITIONAL DETAILS.

CONSTRUCTION NOTES

- 1 PROVIDE SINGLE GANG BACKBOX MOUNTED UNDER-COUNTER AND CONDUIT TO ACCESSIBLE CEILING FOR DOOR RELEASE BUTTONS. COORDINATE WITH OWNER'S SECURITY VENDOR FOR EXACT REQUIREMENTS PRIOR TO ROUGH-IN.
- 2 ROUTE CONDUIT FOR DATA UNDER SLAB AND UP WALL TO NEAREST CABLE TRAY.
- IN ADDITION TO THE CONDUIT IDENTIFIED FOR DATA IN NOTE 2, PROVIDE (1) 1-1/4" C. ROUTED FROM FLOORBOX TO A/V RACK BACKBOX. CONDUIT SHOULD TERMINATE IN LOW-VOLTAGE PARTITION OF FLOOR BOX.

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BAU ARC

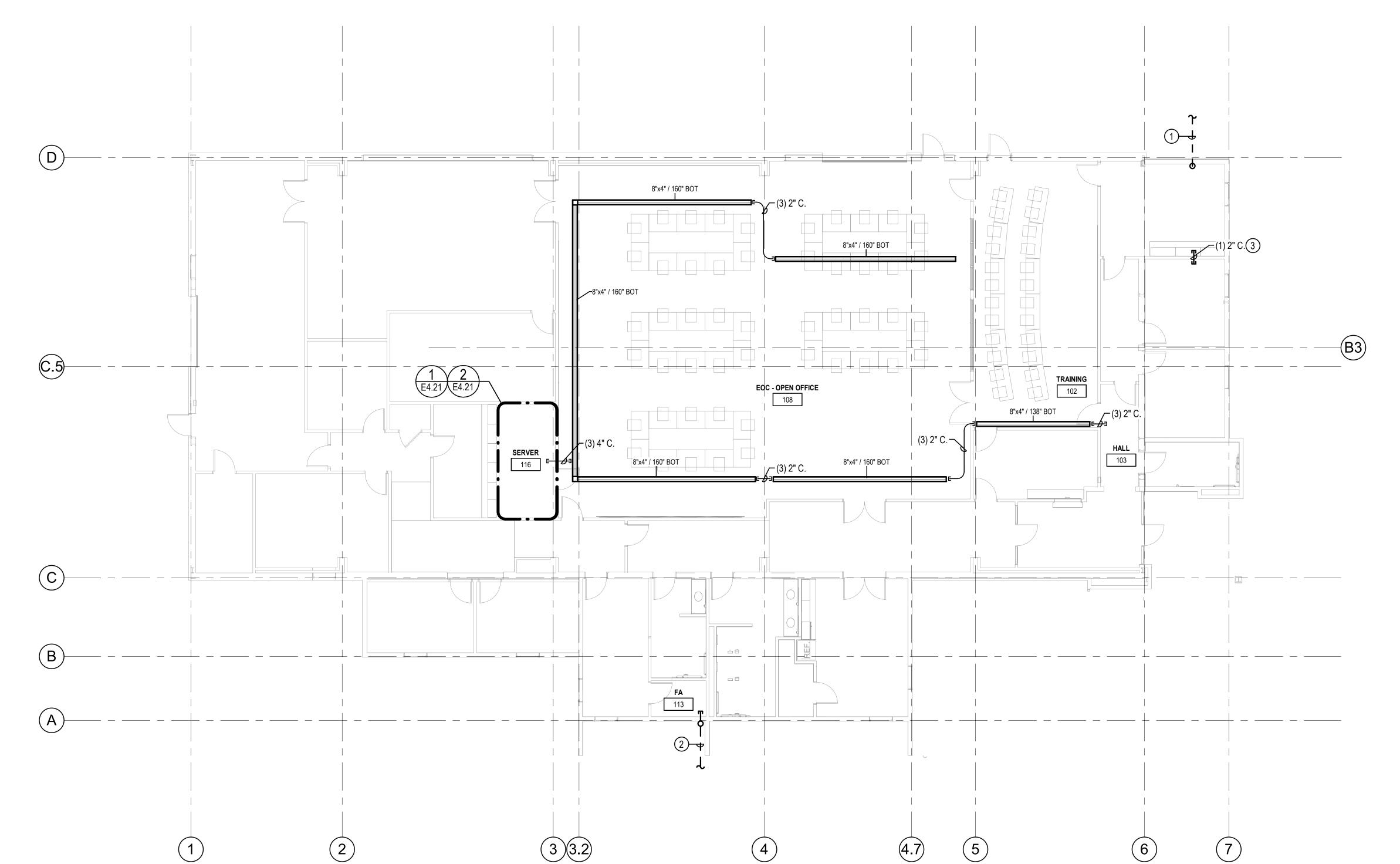
ARCHITECTURE

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LEVEL 1 SYSTEMS PATHWAYS PLAN

BA NO: CHECKED:

E4.11



1 LEVEL 1 SYSTEMS PATHWAY PLAN
1/8" = 1'-0"

INFORMATION.

GENERAL NOTES

REQUIREMENTS.

3. ROUTE CONDUIT FROM ALL DEVICE BACKBOXES IN HARD LID AREAS TO NEAREST ACCESSIBLE CEILING SPACE.

COMMUNICATIONS SYSTEMS FOR MORE

ALL EMERGENCY RESPONDER RADIO COVERAGE SYSTEM CONDUIT RUNS MUST MEET IFC SECTION 510

SEE SPECIFICATION SECTION 27 05 28 PATHWAYS FOR

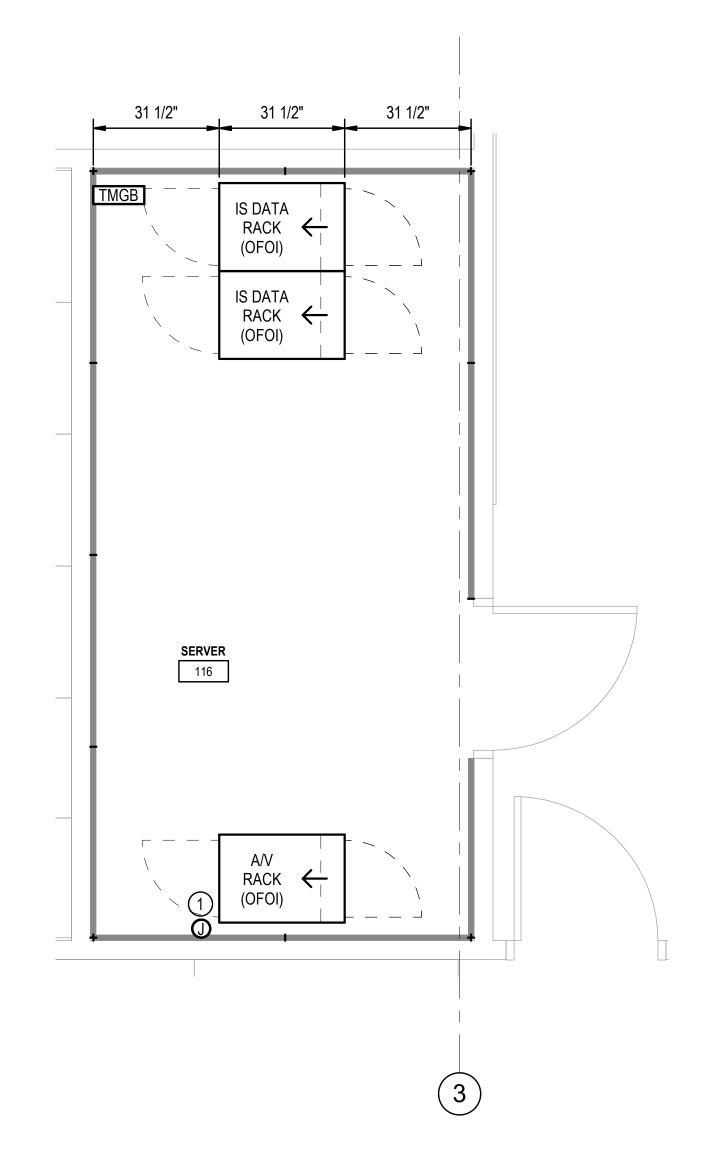
4. IN ADDITION TO THE SPECIFIC CONDUITS AND CONDUIT SLEEVES SHOWN, E.C. SHALL PROVIDE ALL CONDUIT AND CONDUIT SLEEVES REQUIRED FOR LOW VOLTAGE CABLE ROUTING - DO NOT EXCEED 40% FILL CAPACITY. PROVIDE ADDITIONAL CONDUIT SLEEVES AS REQUIRED. ALL PENETRATIONS REQUIRE A SLEEVE WITH BUSHING. COORDINATE WITH OWNER FOR CONDUIT AND SLEEVING REQUIREMENTS FOR DATA NETWORK, SECURITY SYSTEMS, AUDIO-VISUAL SYSTEMS, ETC.

 SEE ELECTRICAL SITE AND ENLARGED PLANS FOR ADDITIONAL CONDUIT ROUTING REQUIREMENTS.

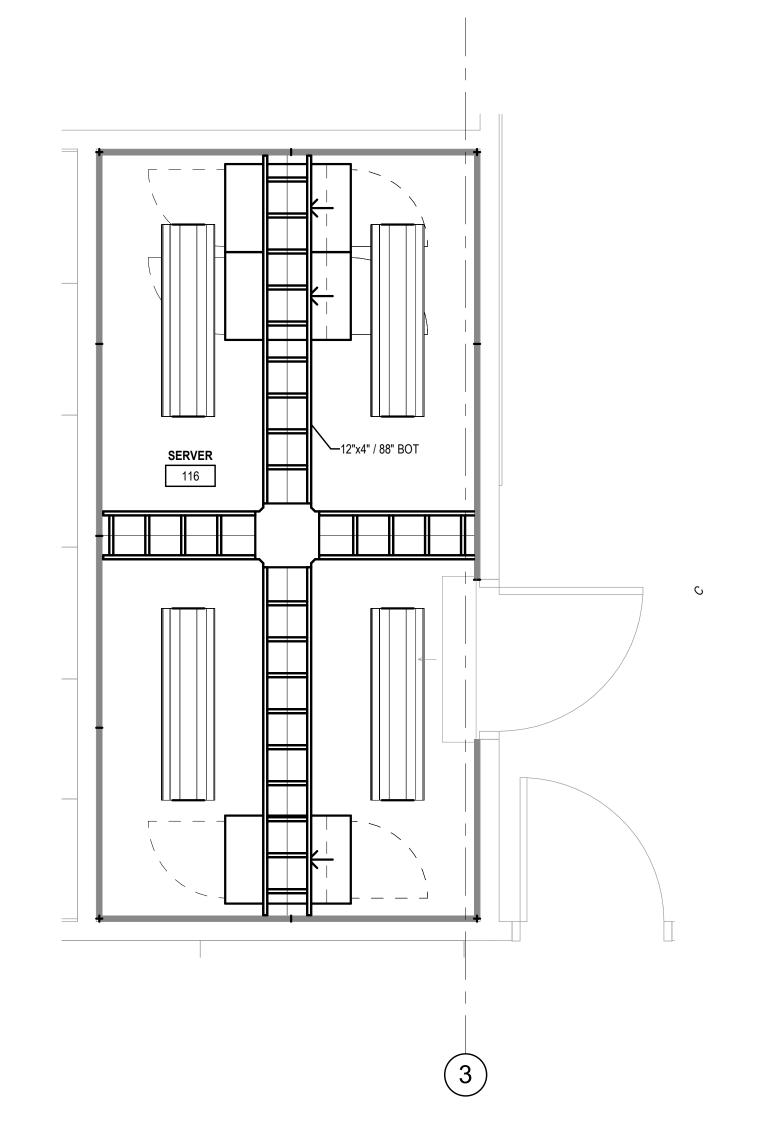
CONSTRUCTION NOTES

- 1 PROVIDE CONDUIT UNDERGROUND FOR RADIO TOWER. SEE SITE PLAN SHEET E1.01 FOR ADDITIONAL INFORMATION.
- 2 UNDERGROUND SERVICE PROVIDER AND SPARE CONDUITS. SEE SITE PLAN SHEET E1.01 FOR ADDITIONAL INFORMATION.
- 3 PROVIDE CONDUIT SLEEVE MOUNTED AT +18" AFF FOR FUTURE CABLING. PROVIDE ACOUSTICAL PUTTY ON BOTH ENDS.

1 PROVIDE 12"X12"X4" RECESSED JUNCTION BOX FOR A/V RACK. COORDINATE LOCATION WITH OWNER PRIOR TO ROUGH IN. SEE SHEETS E0.01 AND E4.01 FOR ADDITIONAL INFORMATION.



1 ENLARGED SYSTEMS PLAN - SERVER ROOM - LOWER
1/2" = 1'-0"



2 ENLARGED SYSTEMS PLAN - SERVER ROOM - UPPER
1/2" = 1'-0"

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engineers, inc.

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Fife, Washington 98424
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ANT IMPROVEMENT
WAY
8312

KCDEM TENANT 8900 SW IMPERIAL WAY BREMERTON, WA 98312

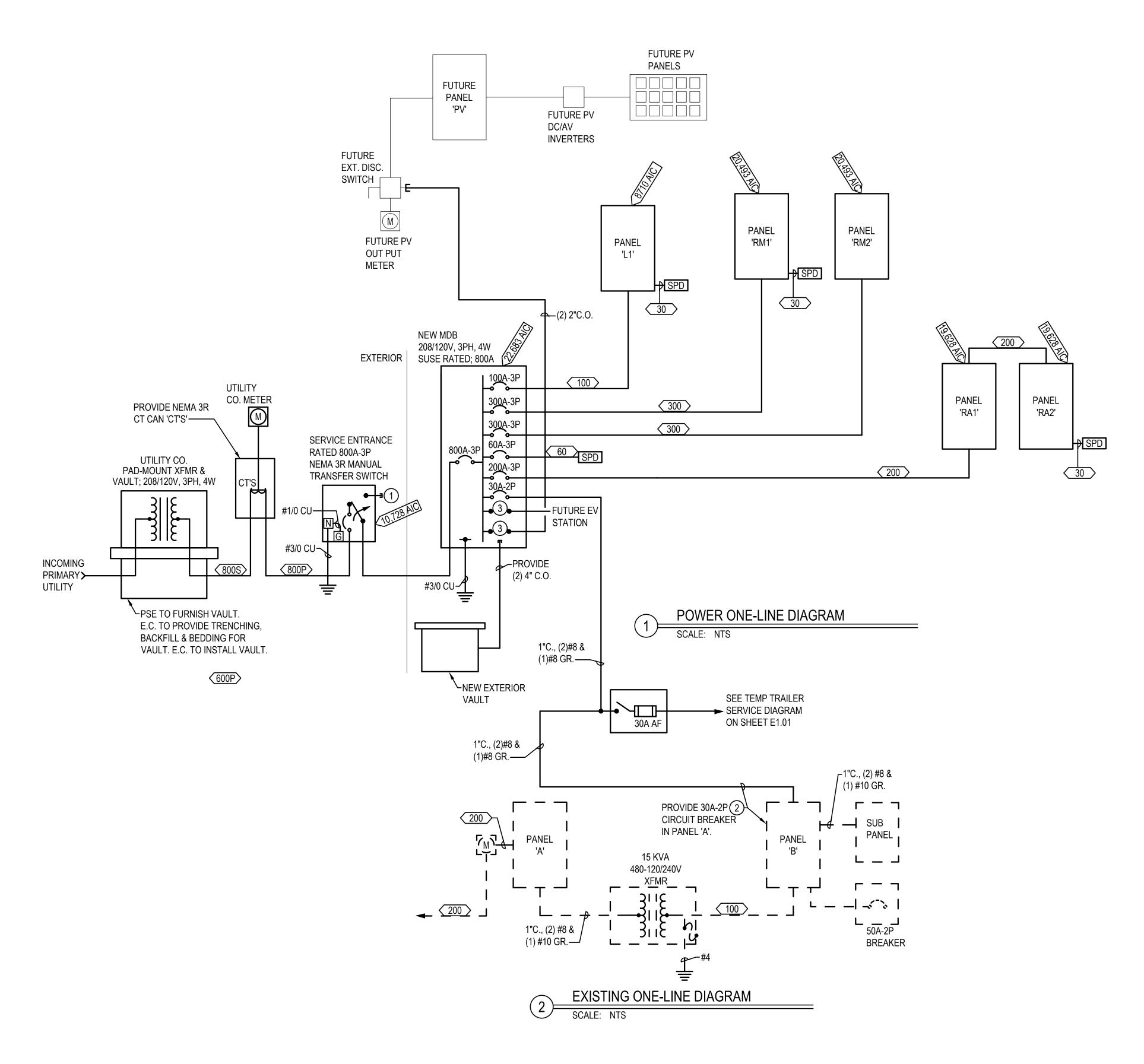
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ENLARGED SYSTEMS PLANS

DATE: BA NO: CHECKED:

E4.21



	THREE PHASE FEEDER SCHEDULE													
			(Coppe	r			А	luminu	m				
	Ampacity	# Each	Conduit	#	AWG	GND	# Each	Conduit	#	AWG	CU GND			
20	20A	1	3/4"	4	#12	#12	Х	Х	Χ	Х	Х			
30	30A	1	3/4"	4	#10	#10	Х	X	Χ	X	Х			
60	60A	1	1 1/4"	4	#6	#6	Х	Х	Χ	Х	Х			
100	100A						1	1 1/2"	4	#1/0	#6			
200	200A						1	2 1/2"	4	#250	#4			
225	225A						1	3"	4	#300	#2			
300	300A						2	2 1/2"	4	#3/0	#4			
800S	800A						3	4"	4	#400	#3/0			
800P	800A						3	4"	4	#400				

NOTE: The above table is based on fill for Rigid Steel Conduit. Other types of conduits may result in size adiustments.

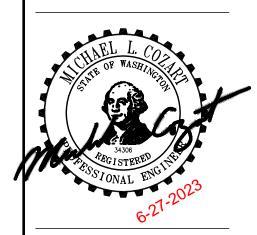
CONSTRUCTION NOTES

- CONNECTION POINT FOR TEMPORARY GENERATOR.
- WHEN THE EXISTING SERVICE IS TO BE DEMOLISHED -E.C. TO PROVIDE A NEW CONNECTION FOR THE TRAILER TO THE NEW SWITCHBOARD. COORDINATE WITH OWNER FOR SHUT-DOWN.
- PROVIDE 3-POLE SPACE SUITABLE FOR UP TO 100 AMP CIRCUIT BREAKER.

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IMPROVEMENT KCDEM TENA

8900 SW IMPERIAL W BREMERTON, WA 98

BID SET

JULY 07, 2023

2021.03 C.T CHECKED: **ELECTRICAL ONE-LINE**

DIAGRAM

BA NO:

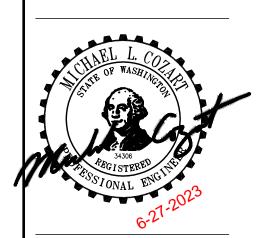
	PANEL:	MDB	3	PH	4	WIRE	,	VOLTAGE:	208Y/1	20V		800A	MCB	Τ
	LOC:	ELECT RM	_	N	OUNT:	SURFACE		FEED:	вотто	M				
	TYPE:	NEMA 1; SUSE		ı	POLES:	30		SF MAINS:	;			22683 AFC	MINIMUM	
LOAD			CIR.	CIR.	BRKR				CIR.	BRKR	CIR.			LOAD
TYPE	LOAD	CIRCUIT DIRECTORY	NO.	Р	AMP	Α	В	С	Р	AMP	NO.	CIRCUIT DIRECTORY	LOAD	TYPE
SF	3256		1	3		24398			3		2		21142	SF
SF	1737	PANEL L1	3				24269				4	RA1/RA2	22532	SF
SF	1732		5		100			19358		200	6		17626	SF
D	5000	TEMP TRAILER	7	2		40360			3		8		35360	SF
D	5000		9		30		30315		1		10	PANEL RM1	25315	SF
		SPACE	11					29803	1	300	12		29803	SF
SF	23267		13	3		23267					14	SPACE		1
SF	20767	PANEL RM2	15				20767		1		16	SPACE		1
SF	18267		17		300			18267			18	SPACE		
		SPACE	19						3		20			
		SPACE	21						1		22	SPD		
		SPACE	23						1	60	24			
			25	3					3		26			
		FUTURE PV	27						1		28	FUTURE EV CHARGERS		1
			29						1		30			1
	79026	TOTAL	'	THIS	S PANEL->	88025	75351	67428				TOTAL	151778	
		LIGHTING(125	%) = 8406.25			88025	75351	67428	-			TOTAL CONNECTED LOAD (VA):	230.804.00	
		RECEPTS<=10000(100%	,		L LAR	GEST MOTOR(12			J KITCHEN L	OADS(65%) = 0.00	` ,		
		RECEPTS>10000(50%) = 14800.00				IER MOTORS(100	•			CES(100%	•			
		RECEPTS TOTA					TAL = 83782.00	С	EDICATED					
		ELECTRIC HEAT(1009 L=LIGHTING, R=RECEPTACLES, H=ELECTRIC HEAT								/IISC(100%		TOTAL DEMAND CURRENT (A)	608.85	

	PANEL: LOC:	RA1 ELECT RM	3	PH N		WIRE SURFACE	,	VOLTAGE:	208Y/1			200A	MCB	
	TYPE:				POLES:			SF MAINS:		OIVI		19628 AFC	BAINIIBALIBA	
OAD		NEMA 1; FEED-THRU LUGS	CID					OF WIAINO:		DDVD	CID			LOA
YPE		CIRCUIT DIRECTORY	CIR.	P	BRKR AMP	_ A	В	С	P CIR.	BRKR	NO.		LOAD	TYF
R	1080	RECPT. RM 125	1	<u> </u>	20	1800			1	20		RECEPT. RM 108	720	R
R	1080	RECPT. RM 126	3	1	20	1000	1800		1	20		RECEPT. RM 108	720	T R
11	1000	SPARE	5	_	20		1000	720	1	20		RECEPT. RM 108	720	T R
D	500	VACUMN PUM RM 126	7	<u></u>	20	1220		720	1	20		RECEPT. RM 108	720	T R
МО	1176	MOTORIZED DOOR	9	<u>-</u>	20	1220	1896		1	20		RECEPT. RM 108	720	T R
R	720	RECPT. RM 123	11		20		1000	1260	1	20		RECEPT. RM 108	540	T R
R	720	RECPT. RM 120,123	13		20	1440		1200	1	20		RECEPT. RM 114	720	T R
R	900	RECPT. RM 120,124	15	<u></u>	20	1110	1620		1	20		RECEPT. RM 114	720	T R
R	720	RECPT. RM 120	17	<u>-</u>	20		1020	1440	1	20		RECEPT. RM 114	720	T R
R	900	RECPT. RM 121	19	_	20	1900		1110	1	20		PLOTTER	1000	
Ď	1000	COPIER RM 121	21	<u>-</u>	20	1000	1900		1	20G		RECEPT. RM 109,110,114 (NOTE 1)	900	T R
D	720	RECPT. RM 116	23	<u></u>	20		1000	1920	1	20G		MICROWAVE RM 110 (NOTE 1)	1200	 '
D	720	RECPT. RM 116	25	_ <u></u>	20	1170		1020	1	200		REFRIGERATOR RM 116	450	<u> </u>
	720	RECPT. RM 116	27	_	20	1170	1440		1	20		RECEPT. RM 110	720	T R
R	720	RECPT. RM 117	29	_ <u></u>	20		1770	1440	1	20		RECEPT. RM 113	720	† <u>'</u> ' R
R	720	RECPT. RM 118	31	'	20	1800		1440	1	20		RECEPT. RM 115	1080	T R
R	720	RECPT. RM 117,119	33	1	20	1000	1260		1	20		FLOOR BOX RECEPT. RM 108	540	T R
D	450	REFRIGERATOR RM 125	35	_	20		1200	1350	1	20		RECEPT. RM 127	900	T R
D	1500	TELLINGERATOR TWO 125	37	3	20	2220		1000	1	20		RECEPT. RM 127	720	T R
D	1500	BALLOT SORTING MACHINE	39	J		2220	2040		1	20		RECEPT. RM 127	540	T R
D	1500	BALLOT GOTTING WAGHINE	41		20		2040	1500	1	20		SPARE	340	+ '`
	1000	SPACE	43		20			1000	1	20		SPARE		+
		SPACE	45						1	20		SPARE		+
		SPACE	47						1	20	_	SPARE		+
		SPACE	49						<u>'</u>	20	50	SPACE		+
		SPACE	51								52	SPACE		+
		SPACE	53								54	SPACE		+
Χ	9592	OI AGE	SF1			9592					SF2	O AGE		-
$\frac{\wedge}{X}$	10576	PANEL RA2	SF1			3332	10576				SF2			+
$\frac{\wedge}{X}$	7996	TANLLIVAZ	SF1				10070	7996			SF2			+
^	46230	TOTAL	[01 1]	THIS	 S Panel->	21142	22532	17626			OI Z	TOTAL	15070	+
		LIGHTING RECEPTS<=10000(100 RECEPTS>10000(50 RECEPTS TOT		21142 LARGEST MOTORS(10	22532 R(125%) = 0.00	17626	APPLIAN	LOADS(65% NCES(100%) (100%) = 1) = 0.00		61,300.00 170.15			
		ELECTRIC HEAT	(100%) = 0.00			WATER HEATER	S(100%) = 0.00			MISC(100%) = 0.00			\perp

	PANEL:	L1	<u>3</u>	PH	4	WIRE	\	OLTAGE	E: 208Y/1	20V		100A	MLO	
	LOC:	ELECT RM		N	IOUNT:	SURFACE		FEED): BOTTO	MC				
	TYPE:	NEMA 1			POLES:	30	(SF MAINS	S :			8710 AFC	MINIMUM	
OAD.			CIR.	CIR	BRKR				CIR.	BRKR	CIR.			LOAD
YPE	LOAD	CIRCUIT DIRECTORY	NO.	Р	AMP	Α	В	С	Р	AMP	NO.	CIRCUIT DIRECTORY	LOAD	TYPE
L	2014	LTG 108,116,120,121,122,123,125,126	1	1	20	3039			1	20	2	LTG HALL 109,119, VESTIBULE 100	1025	L
L	1332	LTG EQC OPEN OFFICE 108	3	1	20		1637		1	20	4	EXTERIOR LTG	305	L
L	1480	LTG 101,102,104,105,106,107	5	1	20			1732	1	20	6	LIGHTING UNDER CANOPY	252	L
		SPARE	7	1	20	217			1	20	8	BOLLARD LIGHTING	217	L
		SPARE	9	1	20		100		1	20	10	FLAG POLE LIGHTING	100	L
		SPARE	11	1	20				1	20	12	SPARE		
		SPACE	13								14	SPACE		
		SPACE	15								16	SPACE		
		SPACE	17								18	SPACE		
		SPACE	19								20	SPACE		
		SPACE	21								22	SPACE		
		SPACE	23								24	SPACE		
		SPACE	25						3		26			
		SPACE	27								28	SPD		
		SPACE	29							30	30			
	4826	TOTAL		THI	S PANEL->	3256	1737	1732				TOTAL	1899	
		LICHTING(4950)	0400 05		-	3256	1737	1732				TOTAL CONNECTED LOAD (VA).	6 725 00	
		RECEPTS<=10000(1009	LIGHTING(125%) = 8406.25				R(125%) = 0.00	1/32	 KITCHEN LO	OADS/650/	\ = 0.00	TOTAL CONNECTED LOAD (VA): TOTAL CONNECTED CURRENT (A):		
		RECEPTS>10000(1007)	•			OTHER MOTORS	,			CES(100%	•		10.01	
		RECEPTS TOTA					R TOTAL = 0.00			TED(100%			8,406.25	
		ELECTRIC HEAT(100%	6) = 0.00		\	WATER HEATERS	S(100%) = 0.00			/IISC(100%			23.33	

	PANEL: LOC:	RA2 ELECT RM	3		MOUNT:	WIRE SURFACE			: BOTT				MLO	
	TYPE:	NEMA 1			POLES:	54	,	SF MAINS				19628 AFC	MINIMUM	
LOAD			CIR.		. BRKR				CIR.	BRKR	4			LOAD
TYPE	LOAD	CIRCUIT DIRECTORY	NO.	Р	AMP	Α	В	С	P	AMP	NO.	CIRCUIT DIRECTORY	LOAD	TYPE
R	720	RECEPT. RM 108	1	1	20	1440			1	20	2	RECEPT. RM 102,106	720	R
R	720	RECEPT. RM 108	3	1	20		1440		1	20	4	RECEPT. RM 102	720	R
R	720	RECEPT. RM 108	5	1	20			1800	1	20	6	RECEPT. RM 102,103,106	1080	R
R	900	RECEPT. RM 100,108	7	1	20	1620			1	20	8	RECEPT. RM 104	720	R
R	900	RECEPT. RM 108	9	1	20		1620		1	20	10	RECEPT. RM 104,105	720	R
R	720	RECEPT. RM 108	11	1	20			1440	1	20	12	RECEPT. RM 105	720	R
R	720	RECEPT. RM 102	13	1	20	1440			1	20	14	RECEPT. RM 106	720	R
R	720	RECEPT. RM 102	15	1	20		1620		1	20	16	RECEPT. RM 106	900	R
R	720	RECEPT. RM 107	17	1	20			1440	1	20	18	RECEPT. RM 100,101,103,109	720	R
R	360	RECEPT. RM 101,107	19	1	20	720			1	20	20	PROJECT SCREEN . RM 108	360	R
R	720	RECEPT. RM 102	21	1	20		1620		1	20	22	PROJECTOR RM 115,117,118,120	900	R
R	720	RECEPT. RM 102	23	1	20			1620	1	20	24	PROJECTOR RM 100,102,104,105	900	R
MO	1176	MOTORIZED DOOR	25	1	20	2676			2		26	UPS 106	1500	D
D	1000	FIRE ALARM CONTROL PANEL (NOTE 1)	27	1	20		2500			30	28		1500	D
D	1000	INTRUSION ALARM PANEL	29	1	20			1000	1	20	30	SPARE		
D	1000	ACCESS CONTROL	31	1	20	1696			3		32		696	МО
R	1080	RECEPT. ROOFTOP	33	1	20		1776				34	MOTORIZED GATE MOTOR	696	МО
		SPARE	35	1	20			696		20	36		696	МО
		SPARE	37	1	20				3		38			
		SPARE	39	1	20						40	SPD		
		SPARE	41	1	20					30	42			
		SPACE	43								44	SPACE		
		SPACE	45								46	SPACE		
		SPACE	47								48	SPACE		
		SPACE	49								50	SPACE		
		SPACE	51								52	SPACE		
		SPACE	53								54	SPACE		
	13896	TOTAL		THI	S PANEL->	9592	10576	7996				TOTAL	14268	
		LIGHTING(125%	0.00 = (6			9592	10576	7996				TOTAL CONNECTED LOAD (VA):		
		RECEPTS<=10000(100%) = 1		LARGEST MOTO			KITCHEN L			TOTAL CONNECTED CURRENT (A):	78.18			
		RECEPTS>10000(50%) = RECEPTS TOTAL = 1			ОТ	OTHER MOTORS(100%) = 3264.00 APPLIANCES(100%) = 0.00 MOTOR TOTAL = 3264.00 DEDICATED(100%) = 6000.00						22 744 00		
		ELECTRIC HEAT(100%				WATER HEATERS(100%) = 0.00 MISC(100%) = 0.00					TOTAL DEMAND LOAD (VA): TOTAL DEMAND CURRENT (A)			
	NOTES:	L=LIGHTING, R=RECEPTACLES, H=ELECTRIC HEAT, ML=		т мотог				RS, K=KITCHE						





KCDEM TENANT IMPROVEMENT 8900 SW IMPERIAL WAY BREMERTON, WA 98312

BID SET

DATE: JULY 07, 2023
BA NO: 2021.03
CHECKED: C.T

PANEL SCHEDULES

E5.02

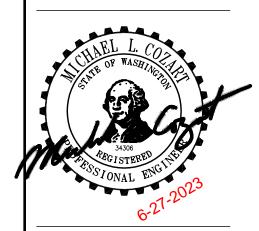
	PANEL: LOC:	RM1 ELECT RM	3		MOUNT:	WIRE SURFACE			BOTTO					A MLO	
	TYPE:	NEMA 1	OID.		POLES:	60		SF MAINS:		DDI/D	OID.	I	20493 AF	C MINIMUM	_
OAD.		OLD OLUT DIDEOTO	CIR.		BRKR		Б	•	———		CIR.		OIDQUIT DIDECTORY		LOA
TYPE	LOAD	CIRCUIT DIRECTO		<u>P</u>	AMP	A	В	<u> </u>	P	AMP	NO.	D 0 1 1 1	CIRCUIT DIRECTORY	LOAD	TYF
MO	696	EF-1	1	1	20	3452	40.70		2			DOAU-1		2756	MC
Н	1900	EH-1	3	1	20		4656		ļ.,	40	4			2756	MC
Н	1900	EH-2	5	1	20			4864	1	40		DOAU-3		2964	MC
MO	2257	HP-1A	7	2		5221			1	40		DOAU-4		2964	MC
MO	2257		9		40		2257		2			SPARE			┷
MO	2257	HP-2A	11	2				2257		20	12				┷
MO	2257		13		40	6502] 3		14			4245	MC
MO	780	HP-3A	15	2			5025					DOAU-2		4245	MC
MO	780		17		20			5025		40	18			4245	MC
MO	271	HP-4A	19	2		2528			2			OCU-1		2257	MC
MO	271		21		20		2528			40	22			2257	MC
МО	2746	HP-5A	23	2				5003	2		24	OCU-2		2257	MC
MO	2746		25		40	5003				40	26			2257	MC
ОМ	2080	ICU-1	27	2			5408		2		28	OCU-3		3328	ML
МО	2080		29		30			5408		50	30			3328	ML
МО	2080	CU-1	31	2		5408			2		32	OCU-4		3328	MC
МО	2080		33		30		5408			50	34			3328	MC
WH	4500	HWT-1	35	2				7246	2		36	OCU-5		2746	MC
WH	4500		37		60	7246				40	38			2746	MC
MO	33	CP-1	39	1	20		33		1	20	40	SPARE			
		SPARE	41	1	20				1	20	42	SPARE			
		SPARE	43	1	20				1	20	44	SPARE			
		SPARE	45	1	20				1	20	46	SPARE			T
		SPARE	47	1	20				1	20	48	SPARE			1
		SPACE	49								50	SPACE			1
		SPACE	51								52	SPACE			1
		SPACE	53								54	SPACE			1
		SPACE	55						3		56				1
		SPACE	57						1		58	SPD			
		SPACE	59						1	30	60				1
	38471	TOTAL	1	THI	S PANEL->	35360	25315	29803				•	тот	AL 52007	T
		_							1						1
			LIGHTING(125%) = 0.00			35360	25315	29803	1			Т	OTAL CONNECTED LOAD (VA): 90,478.00	, [
			PTS<=10000(100%) = 0.00			GEST MOTOR(1	-		KITCHEN L			TOT	AL CONNECTED CURRENT (A		
		REC	CEPTS>10000(50%) = 0.00		OTH	IER MOTORS(10				CES(100%					
		FLEOTO	RECEPTS TOTAL = 0.00		MOTOR TOTAL = 79342.00 DEDICATED(100%) = 1 WATER HEATERS(100%) = 9000.00 MISC(100%) = 1							TOTAL DEMAND CURRENT		1	
	NOTES	L=LIGHTING, R=RECEPTACLES, H=ELE	CTRIC HEAT (100%) = 3800.00	T MOTOR						/ISC(100%			TOTAL DEMAND CURRENT (A) 200./b	

	PANEL: RM2 LOC: ELECT RM			3 PH 4 WIRE MOUNT: SURFACE					208Y/1			400A	MLO	
								FEED:		ואוכ		20402 AEC		
OAD	TYPE:	NEMA 1	OID.		POLES:	00		SF MAINS:		DDI/D	OID	20493 AFC	INIINIINIUNI	LOAD
YPE	LOAD	CIRCUIT DIRECTORY	CIR. NO.	DIK.	BRKR AMP	Α	В	С	P	BRKR AMP	NO.	CIRCUIT DIRECTORY	LOAD	TYPE
<u> –</u> Н	1167	CIRCOIT BIRECTORT	1	3	AIVIE	1534	<u> </u>		3	AWIE	2	CIRCUIT DIRECTORT	367	 Н
<u>-</u>	1167	DH-1	3	J		1334	1534		3		4	DH-3	367	 ''
<u>.</u>	1167		5		20		1001	1534		20	6	5110	367	
	1400		7	3	1 20	1733		1001	3		8		333	 ;;
1	1400	DH-2	9				1733					DH-4	333	 H
1	1400		11		20			1733		20	12		333	H
1	3750	HP-1B (DUCT HEATER)	13	2		6250			2		14	HP-3B (DUCT HEATER #1)	2500	Н
	3750	,	15		50		6250			30	16	,	2500	İΗ
l	3750	HP-2B (DUCT HEATER)	17	2				8750	2		18	HP-3C (DUCT HEATER #2)	5000	Н
1	3750	,	19		50	8750				60	20	,	5000	H
ł	3750	HP-5B (DUCT HEATER)	21	2			6250		2		22	HP-4B (DUCT HEATER #1)	2500	Н
l	3750	i i	23		50			6250		30	24	,	2500	Н
		SPARE	25	1	20	5000			2		26	HP-4C (DUCT HEATER #2)	5000	Н
		SPARE	27	1	20		5000			60	28		5000	Н
		SPARE	29	1	20				1	20	30	SPARE		
		SPARE	31	1	20				1	20	32	SPARE		
		SPARE	33	1	20				1	20	34	SPARE		
		SPACE	35								36	SPACE		
		SPACE	37								38	SPACE		
		SPACE	39								40	SPACE		
		SPACE	41								42	SPACE		
	30201	TOTAL		THI	S PANEL->	23267	20767	18267				TOTAL	32100	
		LIGHTING(12)	,			23267	20767	18267				TOTAL CONNECTED LOAD (VA):		
		RECEPTS<=10000(10) RECEPTS>10000(5)	,			LARGEST MOTO OTHER MOTOR	, ,			OADS(65% ICES(100%			1/2.93	
		RECEPTS TO					S(100%) = 0.00 R TOTAL = 0.00			TED(100%			62.301.00	
	ELECTRIC HEAT(100%) = 62301.00				WATER HEATERS(100%) = 0.00									

BAU ARC ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522





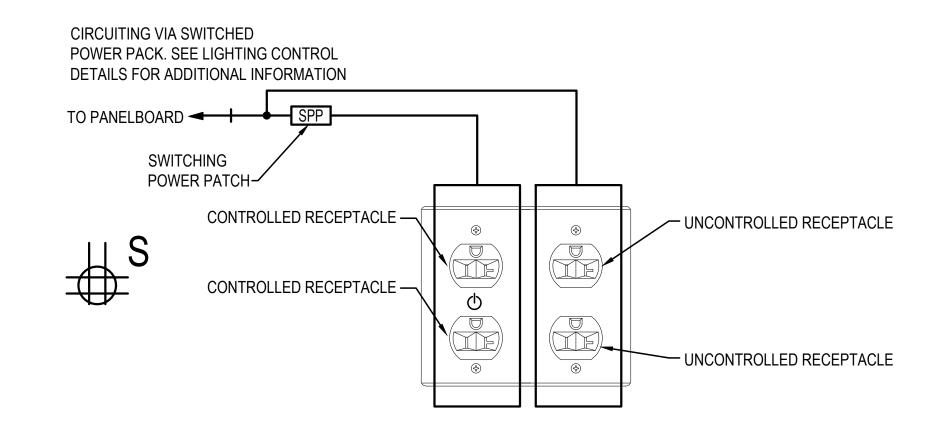
KCDEM TENANT IMPROVEMENT 8900 SW IMPERIAL WAY BREMERTON, WA 98312

BID SET

JULY 07, 2023 2021.03 C.T DATE: BA NO: CHECKED:

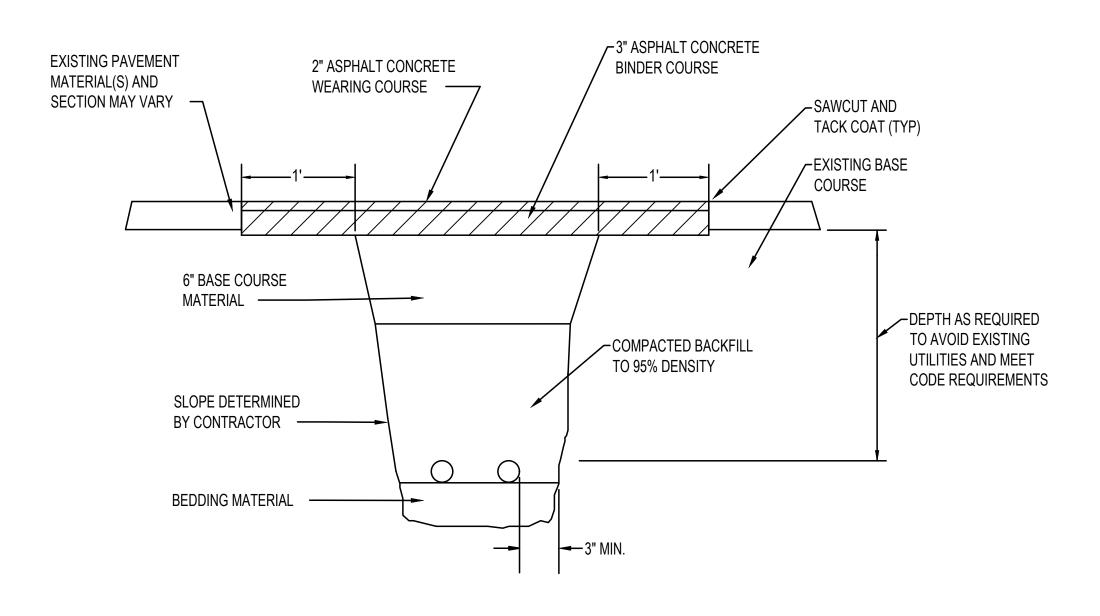
PANEL SCHEDULES

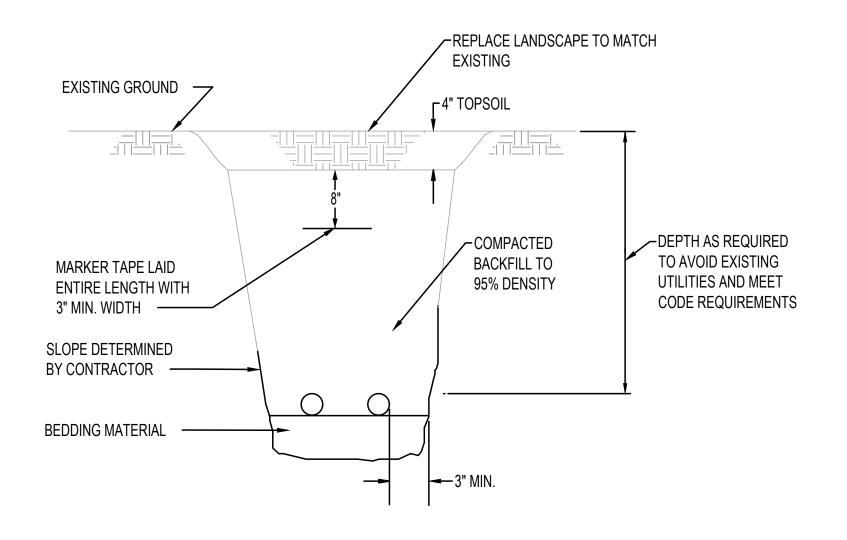
E5.03



MOTORIZED GATE CONDUIT DETAIL

FOURPLEX COMBINATION NON-CONTROLLED DUPLEX RECEPTACLE AND CONTROLLED (SWITCHED) DUPLEX RECEPTACLE DETAIL 2 RECEPTA DIAGRAMMATIC





DIRECT BURY RACEWAY - ASPHALT AREAS SCALE: DIAGRAMMATIC

DIRECT BURY RACEWAY - LANDSCAPE AREAS SCALE: DIAGRAMMATIC

BAU ARC ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522





IMPROVEMENT KCDEM TENA

8900 SW IMPERIAL W BREMERTON, WA 98

BID SET

JULY 07, 2023 BA NO: 2021.03 CHECKED: C.T

ELECTRICAL DETAILS

				Ro	om Liahtina	g Control Sch	nedule (For	Commissio	onina Purn	oses)			
Sheet Number	Room Number	Daylight Zone	LV Lighting Control System	LV Occ/Vacancy Sensor		Stand alone occ/vacancy sensor	Stand alone photocell sensor		Wall mount occ/vacancy	Line woltage wall/Dimmer switch		Switched Recepts	Comments
E2.01	100	No	Yes	Yes							Yes	No	
E2.01	101	No	No	No					Yes			No	
E2.01	102	No	Yes	Yes							Yes	Yes	
E2.01	103	No	Yes	Yes							Yes	No	
E2.01	104	Yes	Yes	Yes	Yes						Yes	Yes	
E2.01	105	Yes	Yes	Yes	Yes						Yes	Yes	
E2.01	106	Yes	Yes	Yes	Yes						Yes	Yes	
E2.01	107	No	Yes	Yes							Yes	Yes	
E2.01	108	Yes	Yes	Yes							Yes	Yes	
E2.01	109	No	Yes	Yes							Yes	No	
E2.01	110	Yes	Yes	Yes	Yes						Yes	No	
E2.01	111	No	No						Yes			No	
E2.01	112	Yes	Yes	Yes							Yes	No	
E2.01	113	No	No						Yes			No	
E2.01	114	No	No						Yes			No	
E2.01	115	Yes	Yes	Yes	Yes						Yes	Yes	
E2.01	116	No	No						Yes			No	
E2.01	117	Yes	Yes	Yes	Yes						Yes	Yes	
E2.01	118	Yes	Yes	Yes	Yes						Yes	Yes	
E2.01	119	No	Yes	Yes							Yes	No	
E2.01	120	Yes	Yes	Yes	Yes						Yes	Yes	
E2.01	121	No	Yes	Yes							Yes	Yes	
E2.01	122	No	No						Yes			No	
E2.01	123	No	Yes	Yes							Yes	Yes	
E2.01	124	No	No							Yes			Electrical Room
E2.01	125	No	Yes	Yes							Yes	No	
E2.01	126	No	Yes								Yes	No	Ballot Sorting - Exempt
E2.01	127	No	Yes								Yes	No	Ballot Counting - Exempt

CONTROLLER PER LIGHT FIXTURE. EMERGENCY FOR REQUIRED ON EACH SPACES.

MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION FOR ANY INFORMATION. CM SERIES OCCUPANCY ONLY BLUE LOAD B CM SERIES SERIES (AS REQUIRED) -BLUE LOAD A

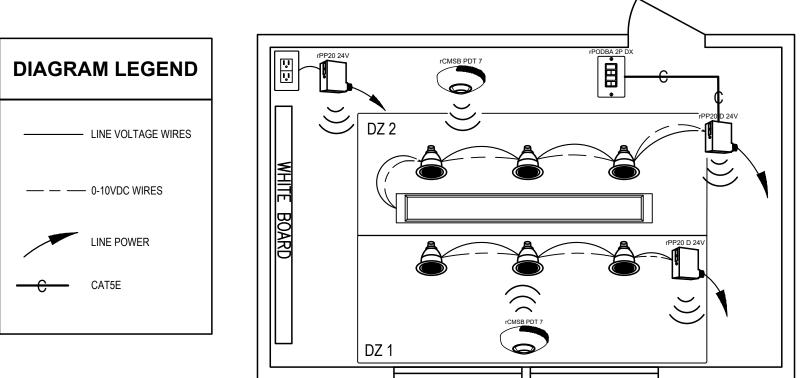
CEILING MOUNTED SENSOR WITH ON/OFF CONTROL SCALE: DIAGRAMMATIC

CEILING MOUNTED SENSOR ON/OFF W/ TWO ZONES OF DAYLIGHT CONTROL

SCALE: DIAGRAMMATIC

CM 9-R or 10-R PIR OR PDT SERIES VIOLET BROWN 4 GREY AUXILIARY CONTACT - N/O or N/C BLK-120V ORN-277V BLUE W/ WHITE STRIPE BLACK

CEILING MOUNT SENSOR W/ AUX CONTACT, MANUAL ON/AUTO OFF SCALE: DIAGRAMMATIC



TYPICAL CONFERENCE / MEETING ROOM

SCALE: DIAGRAMMATIC

SEQUENCE OF OPERATION:

LIGHTS

- ALL LIGHTS ARE DIMMABLE

REQUIRED FOR AREAS WITHOUT WINDOWS OR

MANUAL - ON/OFF & RAISE/LOWER CONTROL OF EACH ROW

ADDITIONAL OPTIONS: BACNET® INTERFACE OPTION ON THE ECLYPSE CONTROLLER OR THROUGH OCCUP

BAU ARC

ARCHITECTURE

1230 BAY STREET

PORT ORCHARD, WA 98366

206 406 0522

Fife, Washington 98424

T: 253.922.0446 F: 253.922.0896

IMPROVEMENT

KCDEM TENA

8900 SW IMPERIAL W BREMERTON, WA 98

BID SET JULY 07, 2023

2021.03

C.T

ELECTRICAL DETAILS

BA NO:

CHECKED:

1. ELECTRICAL CONTRACTOR SHALL SEE THE FLOOR PLAN TO VERIFY THE EXACT QUANTITIES OF LIGHT FIXTURES AND PROVIDE QUANTITY OF FIXTURE LEVEL CONTROLLER AS REQUIRED FOR A COMPLETE AN FUNCTIONAL CONTROL SYSTEM TO MEET ENHANCED DIGITAL LIGHTING CONTROL. 2. ELECTRICAL CONTRACTOR SHALL PROVIDE AT LEAST ONE FIXTURE LEVEL 3. THIS IS TYPICAL LIGHTING CONTROL DIAGRAM. ELECTRICAL CONTRACTOR SHALL SEE FLOOR PLAN WITH DAY LIGHT / NON DAY LIGHT ZONES AND 4. ELECTRICAL CONTRACTOR SHALL PROVIDE ENHANCED DIGITAL LIGHTING CONTROLS TO MEET WSEC C406.4 (2018). LUMINAIRES SHALL BE CONFIGURED FOR CONTINUOUS DIMMING. EACH LUMINAIRE SHALL BE INDIVIDUALLY ADDRESSED. PROVIDE REQUIRED ELECTRICAL DEVICES TO COMPLETE TO MEET ENHANCED DIGITAL LIGHTING CONTROLS PER WSEC C406.4 (2016). MEETINGS WITH THE OWNER & ENGINEER AT 3 MONTHS, 6 MOTHS AND 9 CORRECTION REQUIRED TO THE INSTALLED SYSTEM AND ADDITIONAL TRAINING. SEE SPECIFICATION SECTION 26 09 23, PART 3 FOR ADDITIONAL

GENERAL NOTES

- EACH ROW CONTROLLED INDEPENDENTLY - ADJUSTABLE HIGH/LOW TRIM

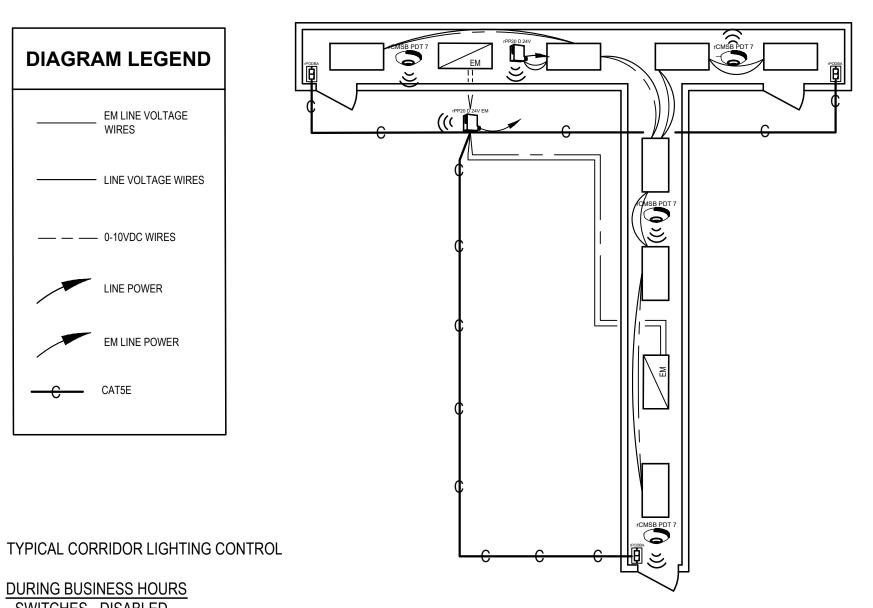
OCCUPANCY

- LIGHTS MUST BE TURNED ON MANUALLY (OR CAN BE RECONFIGURED TO BE AUTO ON TO 50%) - FIXTURES AND LIGHTS AUTOMATICALLY TURN OFF WHEN ROOM BECOMES VACANT

DAYLIGHT

- SMOOTH CONTINUOUS DIMMING - DAYLIGHT ZONES DEFINED BY ROWS NOT WITH TWO OR LESS LUMINARES

- HVAC CONTROL AVAILABLE THROUGH SYSTEM-WIDE



DURING BUSINESS HOURS - SWITCHES - DISABLED

- 1. TIME CLOCK TO TURN ON LIGHT FIXTURES WITH 50% LIGHT LEVEL OUTPUT.
- 2. OCCUPANCY SENSOR SHALL AUTOMATICALLY DIM UP THE LIGHTS TO 100% LIGHT LEVEL OUTPUT.
- 3. ALL LIGHTS AUTO DIM TO 50% FROM 100% WITH NO MOTION AFTER 30 MINUTES.

AFTER BUSINESS HOURS

- SWITCHES ACTIVATED
- 1. TIME CLOCK TO TURN OFF.
- 2. OCCUPANCY SENSOR SHALL AUTOMATICALLY TURN ON THE LIGHTS TO 100% LIGHT LEVEL OUTPUT.
- 3. ALL LIGHTS AUTO OFF WITH NO MOTION AFTER 30 MINUTES.



TYPICAL CORRIDOR

SCALE: DIAGRAMMATIC

SEQUENCE OF OPERATION:

LIGHT FIXTURES: - ALL FIXTURES ARE DIMMABLE

- ALL FIXTURES ARE CONTROLLED TOGETHER OR INDEPENDENTLY (PER ROOM)

- MAXIMUM LEVEL CAN BE TASK TUNED TO ANY PERCENTAGE VIA PROGRAMMING

OCCUPANCY CONTROL:

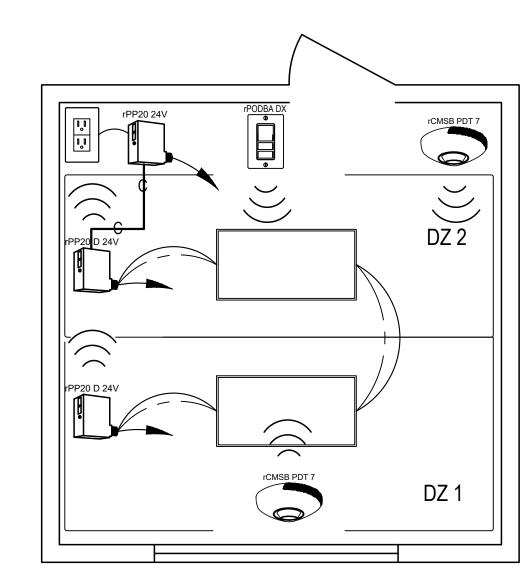
- FIXTURES AUTOMATICALLY GO TO FULL BRIGHT WHEN OCCUPIED (OR OPTIONALLY CAN BE CONFIGURED TO COME ON **AUTOMATICALLY TO 50%)**

- FIXTURES CONFIGURED TO DROP TO LOW DIM SETTING WHEN SPACE BECOMES VACANT MANUAL CONTROL:

- CONNECT TO HALLWAY / CORRIDOR ON/OFF SWITCH.

ADDITIONAL OPTIONS:

- ROOM TO BE CONNECTED TO NLIGHT BACKBONE TO ENABLE NETWORK CONTROL OR TIME SCHEDULES (C405.2.2.1 - TIME-SWITCH CONTROLS), AND ALSO QUALIFY FOR ENHANCED DIGITAL LIGHTING CONTROLS (C406.4) NOTE: MAX OF 4 FIXTURES PER CONTROLLED GROUP - HVAC CONTROL AVAILABLE THROUGH SYSTEM-WIDE BACNET® INTERFACE OPTION ON THE ECLYPSE CONTROLLER - FIXTURE EMBEDDED CONTROL AND OCCUPANCY/ DAYLIGHTING SENSOR OPTIONS AVAILABLE, PLEASE SEE THE FIXTURE SPECIFICATION SHEET



BACNET® INTERFACE OPTION ON THE ECLYPSE CONTROLLER OR THROUGH OCCUPANCY SENSOR

- HVAC CONTROL AVAILABLE THROUGH SYSTEM-WIDE

SEQUENCE OF OPERATION:

- ALL FIXTURES CONTROLLED TOGETHER

- LIGHTS AUTOMATICALLY GO TO FULL BRIGHT

- LIGHTS AUTOMATICALLY TURN OFF OR DROP TO OPTIONAL LOW DIM SETTING WHEN SPACE

- ALL LIGHTS ARE DIMMABLE

- ADJUSTABLE HIGH/LOW TRIM

LIGHTS

OCCUPANCY

WHEN OCCUPIED

BECOMES VACANT

AUXILIARY RELAY (AR) CONTACT OPTION

ADDITIONAL OPTIONS:

TIME SCHEDULES (C405.2.2.1)

GENERAL NOTES

ELECTRICAL CONTRACTOR TO REFERENCE GENERAL NOTES ON SHEET

- SPACE / ZONE TO BE CONNECTED TO NLIGHT BACKBONE TO ENABLE NET-WORK CONTROL OR

SEQUENCE OF OPERATION:

LIGHTS

- ALL LIGHTS ARE DIMMABLE - ADJUSTABLE HIGH/LOW TRIM

OCCUPANCY

- FIXTURES MUST BE TURNED ON MANUALLY - FIXTURES AND RECEPTACLES AUTOMATICALLY TURN OFF WHEN ROOM BECOMES VACANT

DAYLIGHT

- NOT REQUIRED FOR OFFICES WITHOUT WINDOWS OR THAT HAVE LOADS <150W IN SIDELIGHT ZONES

MANUAL

- ON/OFF & RAISE/LOWER CONTROL OF LIGHTS

ADDITIONAL OPTIONS:

- HVAC CONTROL AVAILABLE THROUGH SYSTEM-WIDE BACNET® INTERFACE OPTION ON THE ECLYPSE CONTROLLER OR THROUGH OCCUPANCY SENSOR AUXILIARY RELAY (AR) CONTACT OPTION

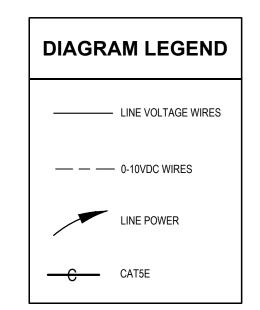


DIAGRAM LEGEND — — 0-10V DC ----- LINE VOLTAGE WIRES LINE POWER

TYPICAL GANG RESTROOMS

SCALE: DIAGRAMMATIC

TYPICAL OFFICE

SCALE: DIAGRAMMATIC

BAU ARC

ARCHITECTURE

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IMPROVEMENT

TENA

KCDEM.

8900 SW IMPERIAL W BREMERTON, WA 98

BID SET JULY 07, 2023 BA NO: 2021.03 CHECKED: C.T

ELECTRICAL DETAILS

F: 253.922.0896

KCDEM

8900 SW IMPER BREMERTON, \

BID SET JUL7 07, 2023 2021.03

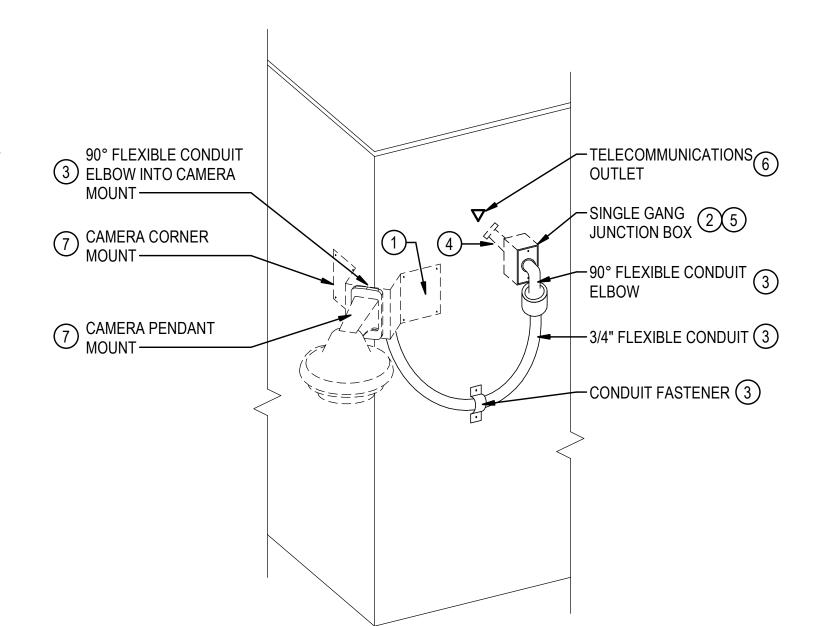
SECURITY DETAILS

BA NO:

CHECKED:

CONSTRUCTION NOTES

- REINFORCE THE WALL AND WALL SURFACE FOR CAMERA MOUNTING, AS REQUIRED.
- PROVIDE JUNCTION BOX MOUNTED TIGHT TO CORNER STRUCTURE.
- PROVIDE 3/4" FLEXIBLE CONDUIT PATHWAY AND SUPPORTS FROM THE JUNCTION BOX TO THE CAMERA VIA THE SHORTEST POSSIBLE ROUTE.
- PROVIDE (1) 3/4" CONDUIT FROM JUNCTION BOX TO THE ACCESSIBLE CEILING SPACE AS REQUIRED.
- PROVIDE SUPPORT AS REQUIRED FOR BOX TO BE FLUSH TO FINISHED SURFACE. PROVIDE FLASHING PAINTEDTO MATCH FINISHED SIDING MATERIAL AS REQUIRED.
- TELECOM OUTLET BY OTHERS.
- CAMERA AND MOUNT BY OTHERS. COORDINATE WITH OWNER'S SECURITY VENDOR FOR ADDITIONAL REQUIREMENTS PRIOR TO ROUGH-IN.



ROUGH-IN WALL MOUNT CCTV CAMERA DETAIL DIAGRAMMATIC

PROVIDE A CABLE PATHWAY FROM THE JUNCTION BOX TO THE

CAMERA, AS REQUIRED. PROVIDE (1) 3/4" CONDUIT FROM THE JUNCTION BOX TO THE ACCESSIBLE CEILING SPACE AS REQUIRED.

CONSTRUCTION NOTES

TELECOM OUTLET BY OTHERS.

PROVIDE WEATHERPROOF BLANK COVER PLATE.

EXPOSED CONDUITS ARE NOT ALLOWED.

ROUGH-IN CORNER MOUNT CCTV CAMERA DETAIL DIAGRAMMATIC

-4S ELECTRICAL BACK BOX

∕-3/4" C. TO ACP ~1" C. TO ACP JUNCTION BOX 5 -----

8"X8"X8"

COVER OF

JUNCTION BOX ----

JUNCTION BOX-

4 TELECOMMUNICATIONS OUTLET

ACCESSIBLE ___CEILING

GENERAL NOTES

DIVISION 8 PROVIDED DOOR HARDWARE SHOWN IS DIAGRAMMATIC, REFER TO THE ARCHITECTURAL DOOR HARDWARE SCHEDULE, HARDWARE GROUPS, AND DIVISION 8 SPECIFICATION FOR EXACT TYPES AND QUANTITIES OF EQUIPMENT.

CONSTRUCTION NOTES

- PROVIDE HORIZONTALLY MOUNTED SINGLE GANG BACKBOX +6" ABOVE DOOR FRAME. REQUIRED ONLY IF DIV. 8 DOOR HARDWARE IS NOT PROVIDED WITH INTEGRAL REQUEST-TO-EXIT SWITCH (REX).
- ELECTRIFIED EXIT DEVICE, ELECTRIC LOCK, ETC. REFER TO DIV 8 FOR ACTUAL DEVICE.
- POWER-OVER-ETHERNET LOCK PROVIDED AND INSTALLED BY OWNER'S SECURITY CONTRACTOR.
- POWER-OVER-ETHERNET HINGE PROVIDED AND INSTALLED BY OWNER'S SECURITY CONTRACTOR.
- LOCATE JUNCTION BOX ABOVE CEILING IN AN ACCESSIBLE LOCATION ADJACENT TO DOOR.

ACCESS CONTROL SYSTEM ROUGH-IN DIAGRAM

DIAGRAMMATIC

FINISHED FLOOR

FIRE ALARM S SYSTEM LEGEND		
SYMBOL	DESCRIPTION	
FACP	EXISTING FIRE ALARM SYSTEM CONTROL PANEL (SILENT KNIGHT BRAND 6808)	
FARAP	FIRE ALARM SYSTEM REMOTE ANNUNCIATOR PANEL	
②	SMOKE DETECTOR (CEILING MOUNTED)	
Р	MANUAL PULL STATION - WALL MOUNT OPERABLE PART BETWEEN 42" AND 48" ABOVE FINISH FLOOR	
PS	SPRINKLER SYSTEM PRESSURE SWITCH	
TS	SPRINKLER SYSTEM TAMPER SWITCH	
(H/L)	SPRINKLER SYSTEM HIGH / LOW PRESSURE SWITCH	
PIV	SPRINKLER SYSTEM POST INDICATOR VALVE	
BFP	SPRINKLER SYSTEM BACKFLOW PREVENTER	
M	FIRE ALARM SYSTEM MONITOR MODULE	
R	FIRE ALARM SYSTEM RELAY MODULE	
X	FIRE ALARM HORN W/CLEAR (WHITE) STROBE - WALL MOUNTED W/ THE ENTIRE STROBE LENS NOT LESS THAN 80" OR MORE THAN 96" ABOVE THE FINISHED FLOOR OR NOT MORE THAN 6" BELOW THE CEILING, WHICHEVER IS LOWER	
+*	FIRE ALARM CLEAR (WHITE) STROBE ONLY - WALL MOUNTED WITH THE ENTIRE STROBE LENS NOT LESS THAN 80" OR MORE THAN 96" ABOVE THE FINISHED FLOOR OR NOT MORE THAN 6" BELOW THE CEILING, WHICHEVER IS LOWER	
M.	COMBINATION FIRE ALARM HORN AND SINGLE CLEAR (WHITE) STROBE APPLIANCE - CEILING MOUNTED	
*	FIRE ALARM STROBE ONLY - CEILING MOUNTED	

MISCELLANEOUS		
SYMBOL	DESCRIPTION	
\$ 🔂 🖔	ALL NEW DEVICES INDICATED WITH A DARK CONTINUOUS LINE TYPE	
\$ 5	ALL EXISTING DEVICES THAT ARE TO BE RETAINED ARE INDICATED WITH A LIGHT CONTINUOUS LINE TYPE	
\$ [] [ALL DEVICES THAT ARE TO BE REMOVED ARE INDICATED WITH A DARK DASH LINE TYPE	
1	CONSTRUCTION NOTES	
1	RISER NOTES	
()	JUNCTION BOX	
FA	FA INDICATES FIRE ALARM	
SSTA	SYSTEM DETECTORS PROGRAMMED TO ACT LIKE SINGLE_STATION ALARMS.	
LF,SB	LF INDICATES LOW FREQUENCY, SB INDICATES SOUNDER BASE	
W	W INDICATES WEATHERPROOF DEVICE	

FIRE ALARM SYSTEM AUDIBILITY REQUIREMENTS

- 1. THE FIRE ALARM SYSTEM CONTRACTOR SHALL PERFORM AUDIBILITY TESTING IN EACH SPACE OF THE BUILDING PRIOR TO ACCEPTANCE TESTING. DOCUMENTATION OF DECIBEL (dB) VALUES RECORDED IN ALL SPACES SHALL BE PROVIDED TO THE ARCHITECT / ENGINEER PRIOR TO ACCEPTANCE TESTING.
- A. DECIBEL READINGS SHALL BE TAKEN AT A POINT 10'-0" FROM THE APPLIANCE AT AN ELEVATION OF 5'-0" ABOVE FINISHED FLOOR.
- B. THE SOUND LEVEL SHALL BE A MINIMUM OF 15 DECIBELS (dBs) ABOVE THE AVERAGE AMBIENT SOUND LEVEL.
- C. THE SOUND LEVEL SHALL BE A MAXIMUM OF 30 DECIBELS (dBs) ABOVE THE AVERAGE AMBIENT SOUND LEVEL.
- D. THE SOUND LEVEL SHALL BE A MINIMUM OF 5 DECIBELS (dBs) ABOVE THE MAXIMUM SOUND LEVEL HAVING A MINIMUM DURATION OF 60 SECONDS.
- E. IN SPACES THAT DO NOT MEET THE MINIMUM AUDIBLE (dB) VALUES, THE FIRE ALARM SYSTEM CONTRACTOR SHALL PROVIDE ADDITIONAL AUDIBLE NOTIFICATION APPLIANCES UNTIL THE MINIMUM DECIBEL (dB) VALUES ARE OBTAINED.

FIRE ALARM SYSTEM GENERAL NOTES

PROVIDE ALL MATERIALS, EQUIPMENT, LABOR, DESIGN AND PROGRAMMING FOR THE MODIFICATION OF A COMPLETE, ADDRESSABLE LOW VOLTAGE 24 VOLT D.C., FULLY OPERATIONAL FIRE ALARM SYSTEM. ALL EQUIPMENT PROVIDED FOR THIS PROJECT SHALL BE NEW, CURRENTLY MANUFACTURED, AND SHALL BE DELIVERED TO THE PROJECT SITE WITH THE ORIGINAL FACTORY SEAL INTACT. MATERIALS AND WORKMANSHIP SHALL FULLY COMPLY WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (N.F.P.A. #70), NATIONAL FIRE ALARM AND SIGNALING CODE (N.F.P.A. #72), THE LAWS AND REGULATIONS OF WASHINGTON STATE, THE KITSAP COUNTY MUNICIPAL CODE.

- 1.1. THE NICET DESIGNER SHALL BE RESPONSIBLE FOR DESIGN, LAYOUT, AND COORDINATION.
- 1.1.1. PREPARE DETAILED WORKING DRAWINGS FOR THE SYSTEM LAYOUT IN ACCORDANCE WITH N.F.P.A. #72 AND THE FOLLOWING:
- 1.1.1.1. SHOP DRAWING REQUIREMENTS: THE INSTALLING
 VENDOR'S/CONTRACTOR'S COMPLETE AND FULL-SIZE SET OF SHOP
 DRAWINGS SHALL BE ISSUED IN THE FOLLOWING FORMAT:
 - a. THEY SHALL BE CLEAR AND LEGIBLE.
 - b. THE SAME SHEET SIZE AS THE CONTRACT DRAWINGS (I.E. 30" X 42").
 - c. A MINIMUM OF 1/8" TEXT HEIGHT SHALL BE USED FOR ALL TEXT, SYMBOL TEXT, AND SUBSCRIPT TEXT.
 - d. SCALE OF DRAWINGS
 - i. ANY SITE PLAN DRAWINGS SHALL BE THE SAME SCALE AS ISSUED IN THE CONTRACT DOCUMENTS
 - ii. FLOOR PLAN DRAWINGS SHALL BE 1/8"=1'-0", UNLESS DIRECTED TO DO OTHERWISE.
 - e. THE ELECTRICAL LEGEND, WIRE LEGEND, LOAD AND BATTERY CALCULATIONS, RISER DIAGRAM, SEQUENCE OF OPERATION INFO, WIRING DETAILS, AND MOUNTING DETAILS SHALL PRECEDE THE SITE PLANS AND FLOOR PLANS.
 - f. ALL SHEETS, INCLUDING THE COVER, SHALL INCLUDE A TITLE BLOCK ALONG THE EDGE OF EACH OF THE DRAWINGS THAT, WHEN THE DRAWINGS ARE ROLLED UP, THE FOLLOWING INFORMATION SHALL BE VISIBLE:
 - g. THE SYSTEM-SPECIFIC SHEET NUMBER
 - h. PROJECT NAME, SPECIFICATION SECTION NUMBER AND SECTION TITLE NAME
 - i. FLOOR NAME, AREA, AND/OR SECTION OF THE BUILDING (USE THE NAME OF THE AREA AND/OR FLOOR DESCRIPTION THAT IS ON THE CONTRACT DRAWINGS.)
 - j. ARCHITECTURAL INFORMATION ON THE CONTRACT DRAWINGS SHALL BE INCLUDED ON THE INSTALLING VENDOR'S/CONTRACTOR'S SHOP DRAWINGS, INCLUDING, BUT NOT LIMITED TO: MATCH LINES, GRID LINES, GRID BUBBLES, KEY PLAN, AND ENLARGED FLOOR PLANS.

COORDINATE EXACT LOCATIONS AND MOUNTING HEIGHTS OF ALL WALL MOUNTED DEVICES WITH ARCHITECTURAL ELEVATIONS.

CORE DRILLED HOLES SHALL NOT PENETRATE THROUGH ANY STRUCTURAL BEAMS, REBAR CONCRETE SLABS, AND / OR WALLS THAT MAY COMPROMISE THE STRUCTURAL INTEGRITY OF THE BUILDING.

WHEN PENETRATING FIRE RATED WALLS, FLOORS, OR CEILINGS, THE CONTRACTOR SHALL UTILIZE APPROVED FIRE RATED PENETRATION METHODS. THE FIRE RATING OF THE WALLS, FLOORS, OR CEILINGS SHALL BE MAINTAINED AFTER THE CONDUIT HAS BEEN INSTALLED.

- PRIOR TO ROUGH-IN, COORDINATE EXACT LOCATIONS OF FIRE ALARM APPLIANCES AND DEVICES WITH THE GENERAL ELECTRICAL, MECHANICAL, AND FIRE PROTECTION CONTRACTORS.
- 6. THE GENERAL CONTRACTOR AND FIRE ALARM SYSTEM CONTRACTOR SHALL COORDINATE ALL CUTTING, PATCHING AND FINISH WORK.
- 7. ALL MANUAL PULL STATIONS SHALL BE DUAL ACTION, KEY OPERABLE. THE USE OF BREAK GLASS FRONT STATIONS ARE NOT ALLOWED.
- 8. EACH NEW WATER FLOW SWITCH, PRESSURE SWITCH, OR TAMPER SWITCH SHALL HAVE A SEPARATE AND UNIQUE ADDRESS.
- ALL DEVICES AND DETECTOR BASES SHALL BE PERMANENTLY AND CLEARLY LABELED WITH THE DEVICE ZONE AND DEVICE NUMBER IN CIRCUIT IN A READILY VISIBLE LOCATION DIRECTLY ON THE DEVICE.

FIRE ALARM SYSTEM CABLING & CONDUIT REQUIREMENTS

- 1. ALL INITIATING AND NOTIFICATION CIRCUITS SHALL BE "CLASS B" WIRING.
- 2. ALL "CLASS B" WIRING CIRCUITS SHALL BE PROVIDED WITH AN "END-OF-LINE" RESISTOR INSTALLED AT THE END OF EACH CIRCUIT.
- 3. THE USE OF T-TAPPING WILL BE ALLOWED ON S.L.C. (SIGNALING LINE CIRCUIT) CIRCUITS ONLY. T-TAPPING IS NOT ALLOWED ON ANY CIRCUIT REQUIRING AN END OF LINE RESISTOR.
- 4. ALL WIRE TERMINATIONS SHALL BE BY USE OF WIRE NUTS OR SCREW TYPE TERMINATION BLOCKS.
- 5. THE USE OF CRIMPED CONNECTORS, TWISTING OF WIRES, ETC. SHALL NOT BE ALLOWED IN J-BOXES, TERMINAL CABINETS, OR ENCLOSURES.
- 6. ALL WIRES OUTSIDE OF J-BOXES, TERMINAL CABINETS, OR ENCLOSURES SHALL BE FREE OF SPLICES.
- 7. CONDUITS SHALL BE CONCEALED IN CEILING SPACES, WALLS, AND OTHER AREAS WHEREVER POSSIBLE.
- 8. ALL CONDUIT SHALL BE INSTALLED IN A PARALLEL OR PERPENDICULAR FASHION THAT IS TIGHT TO STRUCTURE. THE CONTRACTOR SHALL COORDINATE ALL CONDUIT ROUTING WITH OTHER TRADES.
- FIRE ALARM CABLING INSTALLED ABOVE ACCESSIBLE CEILINGS SHALL BE ALLOWED TO BE INSTALLED AS OPEN CABLING. PROVIDE "D" RING HANGER FOR ALL OPEN CABLING AT A MAXIMUM SPACING OF 5'-0" ON CENTER.
- 10. CABLING THAT IS INSTALLED IN WALLS, CABLING THAT IS INSTALLED BELOW 8'-0" IN ELEVATION THAT IS SUBJECT TO DAMAGE, AND CABLING THAT IS INSTALLED ABOVE INACCESSIBLE CEILINGS SHALL BE INSTALLED IN CONDUIT.
- 11. CONDUITS PASSING THROUGH BUILDING EXPANSION JOINTS OR BUILDING SEISMIC JOINTS SHALL HAVE JUNCTION BOXES AT EACH SIDE OF THE EXPANSION / SEISMIC JOINT. PROVIDE SECTION OF FLEXIBLE CONDUIT BETWEEN JUNCTION BOXES AND GROUNDING BUSHINGS WITH #12 GROUNDING CABLE TO MAINTAIN CONTINUITY BETWEEN ALL (2) JUNCTION BOXES. PROVIDE FLEX CONDUIT AND GROUNDING CABLE OF SUFFICIENT LENGTH TO ACCOMMODATE THE CALCULATED BUILDING MOVEMENT PLUS 6" OF ADDITIONAL MOVEMENT. PROVIDE QUANTITIES AS REQUIRED.
- 12. ALL EXPOSED SURFACE MOUNTED RACEWAYS IN FINISHED SPACES BELOW 8'-0" IN ELEVATION SHALL BE A MINIMUM OF SERIES 700 METAL WIREMOLD OR EQUAL. THE INSTALLATION OF EXPOSED ELECTRICAL METALLIC TUBING (EMT) IN FINISHED SPACES BELOW 8'-0" IN ELEVATION WILL NOT BE ALLOWED.
- 13. CONDUITS SHALL NOT EXCEED FILL RATING OF 40% AS DEFINED BY THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE (N.F.P.A. #70). PROVIDE SIZES AND QUANTITIES AS REQUIRED.
- 14. WHERE EXPOSED TO VIEW IN FINISHED SPACES, PAINT ALL NEW CONDUITS, MOUNTING HARDWARE, AND RACEWAYS TO MATCH THE ADJACENT SURFACES.
- 15. ALL NEW FIRE ALARM SYSTEM JUNCTION BOXES SHALL BE PAINTED RED AND ANNOTATED "FIRE ALARM POWER LIMITED" ON THE COVER IN BLACK BOLD PRINT HAVING MINIMUM CHARACTER FONT SIZE 1/4" TALL X 1/4" WIDE.

FIRE ALARM SYSTEM EQUIPMENT REQUIREMENTS

- 1. THE FIRE ALARM SYSTEM SHALL BE FULLY FUNCTIONAL WITHOUT THE USE OF PRIMARY POWER. THE FIRE ALARM SYSTEM SHALL BE PROVIDED WITH A MINIMUM OF <u>24 HOURS</u> OF STANDBY OPERATION FOLLOWED BY AN ADDITIONAL <u>5 MINUTES</u> OF ALARM OPERATION.
- 2. ALL BATTERIES SHALL PROVIDE AT LEAST 25% SPARE CAPACITY.
- 3. THE FIRE ALARM SYSTEM CONTROL PANEL (FACP) IS AN **EXISTING SILENT KNIGHT BRAND MODEL 6808** MAY INCLUDE INTERNAL POWER SUPPLIES. THE FIRE ALARM
 SYSTEM POWER SUPPLIES (FAPS) ARE SHOWN FOR REFERENCE ONLY. PROVIDE
 ADDITIONAL QUANTITIES OF POWER SUPPLIES AS REQUIRED FOR A COMPLETE
 AND FULLY FUNCTIONAL SYSTEM. THE FIRE ALARM SYSTEM CONTRACTOR SHALL
 BE RESPONSIBLE FOR COORDINATING WITH THE ELECTRICAL CONTRACTOR FOR
 ALL POWER CONNECTIONS THE FIRE ALARM SYSTEM CONTRACTOR SHALL BE
 RESPONSIBLE FOR THE ELECTRICAL COSTS ASSOCIATED WITH ALL
 NON-COORDINATED POWER CONNECTIONS.
- 4. PROVIDE 25% SPARE CAPACITY FOR NOTIFICATION POWER SUPPLIES.
- PROVIDE MULTIPLE INITIATING DEVICE CIRCUITS AND SIGNALING LINE CIRCUITS SO THAT FAILURE OF ONE CIRCUIT DOES NOT CAUSE THE FACILITY TO LOSE OVER 50% OF ITS DETECTION CAPABILITY PER FLOOR.
- PROVIDE A MINIMUM OF 2 ISOLATION MODULES PER CIRCUIT. EACH CIRCUIT SHALL HAVE A MAXIMUM OF 20 DEVICES PER ISOLATION MODULE.
- 7. PROVIDE BATTERY CALCULATIONS FOR ALL FIRE ALARM SYSTEMS.

FIRE ALARM SYSTEM FLOOR PLAN CONSTRUCTION NOTES

- (1) SEE THE FIRE ALARM RISER DIAGRAM ON SHEET FA0.02 FOR MORE INFORMATION.
- (2) RELOCATE EXISTING DEVICE TO NEW LOCATION.
- (3) DEVICE TO BE DEMOLISHED.
- (4) ADD NEW NOTIFICATION EXPANDER PANEL.

FIRE ALARM SYSTEM SCOPE OF WORK NARRATIVE

THE SCOPE OF THIS PROJECT IS TO DO THE FOLLOWING:

THE FIRE ALARM SYSTEM MUST MEET INTERNATIONAL FIRE CODE (I.F.C.) 907.2.2 A MANUAL FIRE ALARM SYSTEM THAT INITIATES OCCUPANT NOTIFICATION PER (I.F.C.) 907.5 SHALL BE INSTALLED IN EXISTING GROUP B OCCUPANCIES.

-RELOCATE THREE AUDIBLE VISUAL DEVICES
-RELOCATE SMOKE DETECTOR
-DEMOLISH ONE AUDIBLE VISUAL DEVICE IN STAFF ROOM
-ADD NEW AUDIBLE VISUAL DEVICES WHERE REQUIRED

CURRENT FIRE ALARM SYSTEM INSTALLED IN THIS BUILDING

-ADD NEW NOTIFICATION POWER SUPPLY TO FEED NEW DEVICES

THIS BUILDING HAS AN **EXISTING** FIRE ALARM SYSTEM. THIS A **SILENT KNIGHT BRAND MODEL #SK-6808.** FIRE ALARM ONLY SYSTEM LOCATED IN **FA ROOM.** THE EXISTING SYSTEM CONSISTS OF MONITORING OF THE WET SPRINKLER SYSTEM, MANUAL PULL STATIONS, AND SPECIFIC SPOT DETECTION.

BUILDING 8900 AND BUILDING 8902 ARE FULLY SPRINKLERED IN ALL SPACES BY A WET SPRINKLER SYSTEM LOCATED IN BUILDING 8902. BUILDING 8904 IS NOT SPRINKLERED AND IS PROTECTED BY LINEAR HEAT DETECTION. ALL WORK ON THIS PROJECT IS LOCATED IN BUILDING 8900.

THE FIRE ALARM SYSTEM CONTRACTOR SHALL FOLLOW ALL ARCHITECTURAL PLANS FOR SCHEDULES AND WORKFLOW.

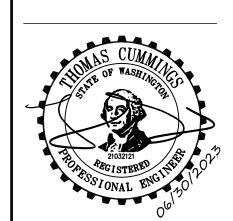
WHERE NEW FIRE ALARM SYSTEM DEVICES ARE INSTALLED ON EXISTING WALLS OR CEILINGS, PROVIDE WIREMOLD 700 OR 2400 SERIES RACEWAY, SIZED AS REQUIRED, ROUTED TO NEAREST ACCESSIBLE CEILING SPACE. ROUTE SURFACE RACEWAY AS INCONSPICUOUSLY AS POSSIBLE. FOLLOW WALL AND CEILING JOINTS TO MAINTAIN A CLEAN VISUAL APPEARANCE. PROVIDE FLEXIBLE ELBOWS WHERE NECESSARY FOR SURFACE RACEWAY CONTAINING DATA CABLES. IN AREAS THAT ARE NOT BEING REPAINTED, PAINT SURFACE RACEWAY TO MATCH ADJACENT SURFACES.

BAU ARC

ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522





IMPROVEMENT

KCDEM TENAN 8900 SW IMPERIAL WAY BREMERTON, WA 9831

BID SETJULY 07, 2023

FIRE ALARM SYSTEM

2021.03

LEGEND AND NOTES

BA NO:

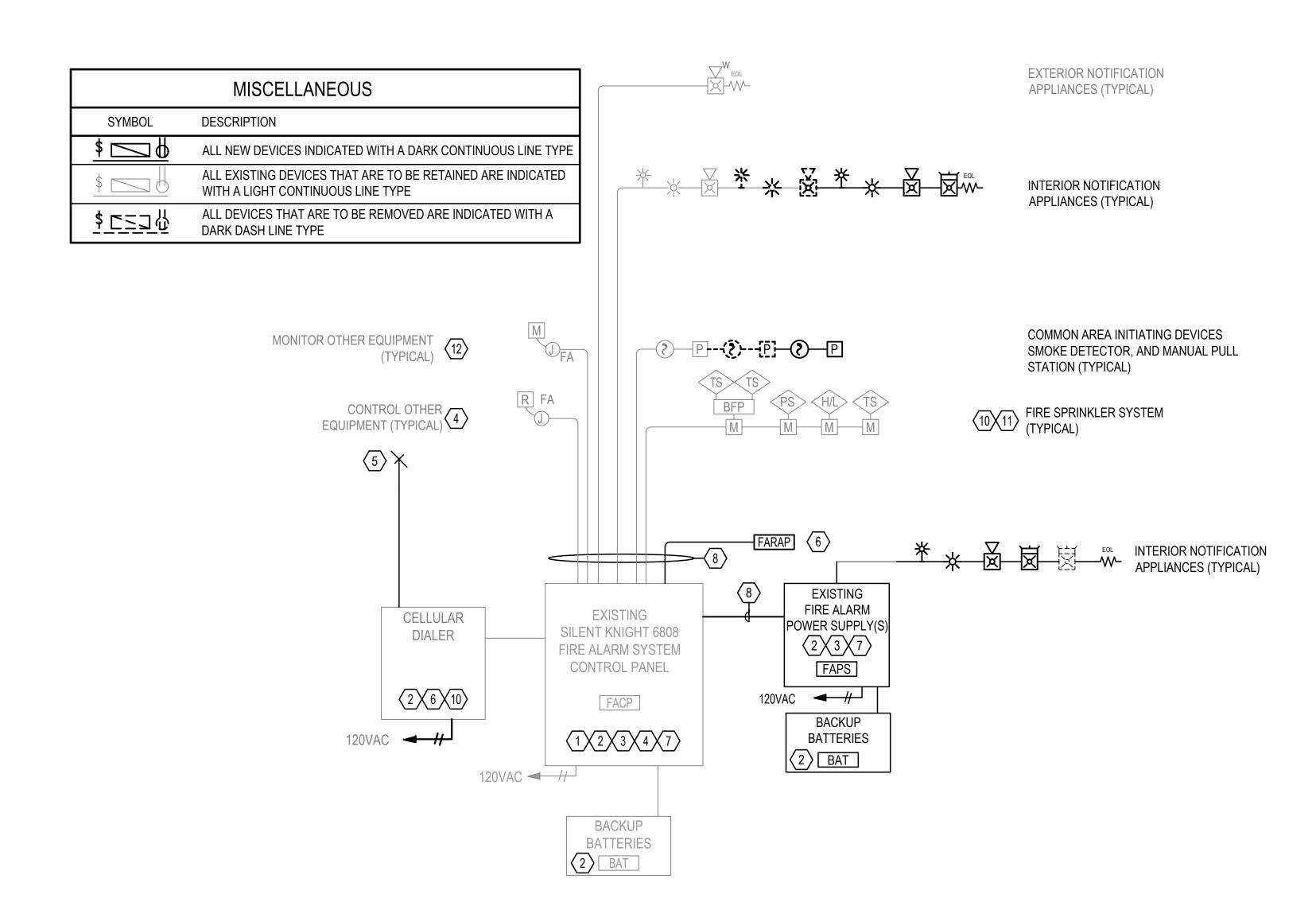
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BULDING 8902 - SPRINKLER TAMPER

BULDING 8904 - HEAT DETECTION (LINEAR)

BULDING 8904 - PULL STATIONS



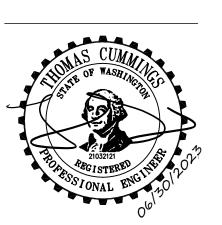
FIRE ALARM SYSTEM RISER DIAGRAM CONSTRUCTION NOTES

- THE RISER DIAGRAM IS DIAGRAMMATIC IN NATURE. IT DOES NOT SHOW ALL DEVICES AND DOES NOT REPRESENT ACTUAL CONDUIT OR CABLE ROUTING.
- THE FIRE ALARM SYSTEM SHALL BE FULLY FUNCTIONAL WITHOUT THE USE OF PRIMARY POWER. THE FIRE ALARM SYSTEM SHALL BE PROVIDED WITH A MINIMUM OF <u>24 HOURS</u> OF STANDBY OPERATION FOLLOWED BY AN ADDITIONAL <u>5 MINUTES</u> OF ALARM OPERATION. ALL BATTERIES SHALL BE SIZED TO PROVIDE AT LEAST 25% ADDITIONAL SPARE CAPACITY. SEE THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- PROVIDE SYSTEM POWER SUPPLIES WHERE REQUIRED. COORDINATE ADDITIONAL POWER CONNECTIONS THAT ARE NOT SHOWN ON ELECTRICAL DRAWINGS WITH ELECTRICAL CONTRACTOR AS REQUIRED. COST FOR ADDITIONAL CONNECTIONS SHALL BE INCLUDED.
- PROVIDE ALL NECESSARY EQUIPMENT, INTERFACES, OTHER APPURTENANCES, AND PROGRAMMING AS REQUIRED FOR COMMUNICATION TO THE CENTRAL STATION MONITORING COMPANY OR MONITORING STATION.
- 5 FIRE ALARM SYSTEM MONITORING IS EXISTING CELLULAR RADIO
- 6 FIRE ALARM SYSTEM REMOTE ANNUNCIATOR PANEL SHALL BE INSTALLED IN VESTIBULE #100
- 7 PROVIDE SURGE PROTECTION ON ALL INCOMING PRIMARY POWER SUPPLIES SERVING FIRE ALARM SYSTEM PANELS.
- 8 PROVIDE SYSTEM CABLES FOR A FULLY FUNCTIONAL SYSTEM AS REQUIRED.
- (9) ALL WIRE RUN UNDERGROUND SHALL BE SUITABLE FOR "WET" INSTALLATIONS.
- FIRE SPRINKLER SYSTEM SWITCHES ARE EXISTING AND CONNECTED TO THE FIRE ALARM SYSTEM. EXACT QUANTITIES AND LOCATIONS OF ALL FIRE SPRINKLER SWITCHES, ARE SHOWN ON THE FIRE SPRINKLER SHOP DRAWINGS
- BACKFLOW PREVENTER (BFP) TAMPER SWITCH MONITORING IS EXISTING. SEE SHEET FA1.00 AND CIVIL DRAWINGS FOR LOCATION. IF AFFECTED BY THIS PROJECT EXISTING ADDRESSABLE MONITOR MODULES MUST REMAIN IN A CONDITIONED SPACE AND WET RATED CABLE INSTALLED FROM THE ADDRESSABLE MODULE TO THE OUTSIDE TAMPER SWITCHES VIA 1" CONDUIT PROVIDED BY THE ELECTRICAL CONTRACTOR.
- PROVIDE FIRE ALARM CONTROL RELAYS TO CONTROL OR SHUNT THE AUDIO / VIDEO SYSTEM, OR ANY OWNER PROVIDED EQUIPMENT, ETC.

ARCHITECTURE

206 406 0522

F: 253.922.0896



TENANT IMPROVEMENT

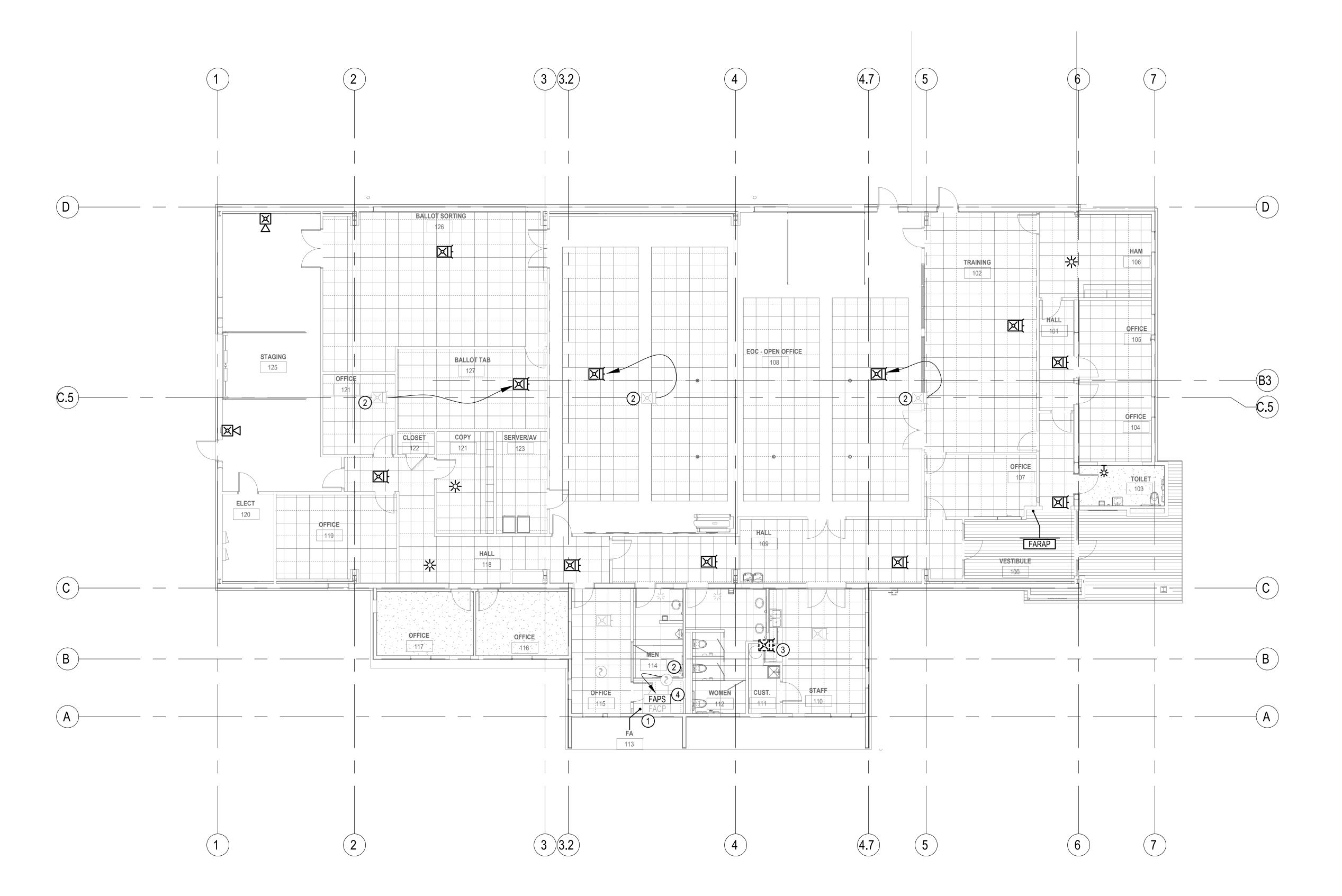
8900 SW IMPERIAL WA BREMFRTON WA 9831

KCDEM

DATE: JULY 07, 2023
BA NO: 2021.03

FIRE ALARM SYSTEM
RISER & SEQUENCE OF
OPERATIONS MATRIX

CHECKED:



FIRE ALARM SYSTEM FIRST FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTES

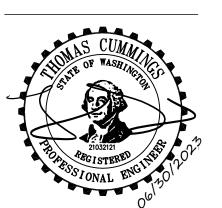
- 1. SEE SHEET FA001 FOR FIRE ALARM SYSTEM EQUIPMENT REQUIREMENTS, AUDIBILITY REQUIREMENTS, CABLING AND CONDUIT REQUIREMENTS, FLOOR PLAN GENERAL AND FLOOR PLAN CONSTRUCTION NOTES.
- 2. SEE SHEET FA002 FOR FIRE ALARM SYSTEM RISER DIAGRAM AND
- 3. CEILING TYPES ARE SHOWN FOR REFERENCE ONLY AND ARE NOT PROVIDED TO INDICATE EXACT LAYOUTS.
- 4. CEILING MOUNTED DEVICES SHALL BE INSTALLED AT THE QUARTER POINT OR CENTER POINT OF 4'X2' ACOUSTICAL CEILING TILES AND CENTER POINT OF 2'X2' OR 1'X1' ACOUSTICAL CEILING TILES. FA SHEETS MAY NOT DEPICT THIS INSTALLATION DUE TO REFLECTED CEILING PLAN SHOWN BEING DIAGRAMMATICAL TO INDICATE CEILING TYPES, NOT EXACT ACOUSTICAL TILE LAYOUTS.
- 5. THE FIRE ALARM SYSTEM CONTRACTOR SHALL COORDINATE THE FIRE ALARM SYSTEM INSTALLATION WITH EXISTING ARCHITECTURAL FEATURES, H.V.A.C. GRILLES, ELECTRICAL LIGHTS, FIRE PROTECTION SPRINKLER HEADS, AND/OR EXISTING CONDITIONS.

BAU ARC

ARCHITECTURE

1230 BAY STREET PORT ORCHARD, WA 98366 206 406 0522





IMPROVEMENT

KCDEM TENA 8900 SW IMPERIAL W BREMERTON, WA 98



BID SET

JULY 07, 2023 2021.03 DATE: BA NO: CHECKED:

FIRE ALARM SYSTEM FIRST FLOOR PLAN

FIRE SPRINKLER CRITERIA DRAWING

1/8" = 1'-0"

FIRE PROTECTION GENERAL NOTES

- 1. THE FIRE SPRINKLER CONTRACTOR SHALL PERFORM MODIFICATIONS AND ADDITIONS TO THE BUILDING'S EXISTING DRY PIPE SPRINKLER SYSTEM, IN ACCORDANCE WITH NFPA #13 AND CITY OF BREMERTON STANDARDS. CITY OF BREMERTON DEFERRED FIRE SPRINKLER DESIGN, PERMIT, AND INSPECTIONS, AND TESTING SHALL BE BY THE DESIGN-BUILD FIRE SPRINKLER CONTRACTOR
- 2. RISER SIGNAGE INDICATES PREVIOUS SYSTEM CONFIDENCE TESTING INCLUDING "FULL TRIP" WAS IN AUGUST 2022.
- 3. THIS SHEET SHOWS THE ROUTING OF THE EXISTING SPRINKLER SYSTEM (INSTALLED IN 2021) BASED ON FOX FIRE SPRINKLER AS-BUILT INFORMATION SUPERIMPOSED ON THE NEW REFLECTED CEILING PLAN. THE CONTRACTOR SHALL CONFIRM ALL INFORMATION.
- 4. EXISTING RISER PLACARD INDICATES ORIGINAL FLOW TEST INFORMATION TO BE 67 PSI STATIC, RESIDUAL PRESSURE 50 PSI WHILE FLOWING 1,469 GPM. TEST HYDRANT WAS HYD #3235 SOUTH IF BUILDING.
- 5. THE EXISTING DRY SYSTEM WAS CALCULATED AT NFPA #13 ORDINARY HAZARD GROUP 2, (0.20 GPM/SQ. FT. OVER 1,950 SQ. FT.), WITH A B.O.R. DEMAND OF 460 GPM AT 43 PSI, WITH A 20.3% SAFETY FACTOR, AND LIGHT HAZARD (0.10 GPM/SQ. FT. OVER 1,250 SQ. FT.), WITH A B.O.R. DEMAND OF 223 GPM AT 38 PSI WITH A 32.6% SAFETY FACTOR.
- 6. BUILDING INTERIOR TO BE CONDITIONED AT A MINIMUM 40°F TEMPERATURE. STANDARD PENDENT SPRINKLERS MAY BE UTILIZED ON RETURN-BENDS.
- 7. PENDENT SPRINKLERS SHALL BE INTERMEDIATE-TEMPERATURE WHITE PENDENT SPRINKLERS WITH WHITE RECESSED ESCUTCHEONS.
- 8. SPRINKLERS IN ACT CEILINGS SHALL BE LOCATED AT CENTER-OF-TILE.
- 9. HANGARS SHALL NOT ATTACHED DIRECTLY TO METAL DECK WITHOUT APPROVAL FROM STRUCTURAL ENGINEER.
- 10. NEW SPRINKLER PIPING SHALL BE BLACK STEEL AND SHALL BE MINIMUM SCHEDULE 10 FOR GROOVED PIPING, SCHEDULE 40 FOR THREADED.
- 11. NEW SPRINKLER PIPE BRACING, RESTRAINT, AND CLEARANCES SHALL BE IN ACCORDANCE WITH NFPA #13 AND ASCE 7.
- 12. EXISTING SEISMIC BRACING CALCULATIONS WERE CALCULATED FROM SPECTRAL RESPONSE ACCELERATION S_S(1.6150)

FIRE PROTECTION CONSTRUCTION NOTES

- 1 LOCATION OF EXISTING 4 IN. DIAMETER DRY-PIPE SYSTEM RISER
- (2) 4 IN. DRY SYSTEM SUPPLY MAIN TO SYSTEM PIPING
- (3) LOCATION OF EXISTING INSPECTORS TEST
- 4 LOCATION OF EXISTING DRUM DRIP AUXILIARY DRAIN.
- (5) LOCATION OF EXISTING 4" 2.5" 2.5" FIRE DEPARTMENT CONNECTION
- (6) EXTEND SPRINKLER PROTECTION BENEATH NEW ENTRY CANOPY/OVERHANG
- (7) EXTEND SPRINKLER PROTECTION THROUGHOUT NEW CEILINGS AND ROOMS (ALL SPACES TO BE MAINTAINED AT MINIMUM 40°F.)
- (8) ADD AND/OR RELOCATE UPRIGHT SPRINKLERS FOR NEW FULL-HEIGHT WALLS
- 9 ADD AND/OR RELOCATE PENDENT SPRINKLERS FOR NEW AND MODIFIED WALLS AND CEILINGS.
- (10) PROVIDE SPRINKLERS ABOVE AND BELOW CEILING CLOUDS PER NFPA #13. ADJUST COVERAGE ABOVE CEILING AS WARRANTED.
- (11) PROVIDE SPRINKLER PROTECTION BENEATH NEW SECTIONAL DOOR.
- (12) ADD SPRINKLER ABOVE (ATTIC) AND BELOW (RESTROOM) CEILING OF NEW ADDITION.
- (13) ADD SPRINKLERS TO PROTECT COMBUSTIBLE VOID SPACE ABOVE. SEE DETAIL 2 & 3 ON SHEET
- (14) RELOCATE EXISTING DRUM DRIP TO BE CONCEALED WITHIN THE WALL OF TIOLET 101. FIRE SPRINKLER CONTRACTO TO PROVIDE ACCESS PANEL COORDINATE EXACT LOCATION WITH GENERAL CONTRACTOR AND ARCHITECT.

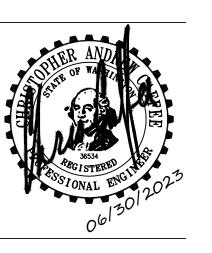
	FIRE PROTECTION LEGEND
SYMBOL	DESCRIPTION
_	EXISTING DRY SPRINKLER SYSTEM PIPING
	EXISTING ¾-IN. 8.0K QUICK-RESPONSE BRONZE UPRIGHT SPRINKLER
0	EXISTING ½-IN. 5.6K QUICK-RESPONSE BRONZE UPRIGHT SPRINKLER
•	EXISTING 1/2-IN. 5.6K QUICK-RESPONSE CONCEALED PENDENT SPRINKLER

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FIRE PROTECTION NOTES AND FLOOR PLAN