

1 **ORDINANCE NO. 517 -2014**

2 **AN ORDINANCE AMENDING KITSAP COUNTY CODE CONCERNING**
3 **SIGNS**
4

5 **WHEREAS**, Kitsap County has received many requests to provide predictability and flexibility
6 in the sign permitting process. The County has an interest in ensuring the compatibility of signs
7 with their surroundings and in minimizing potential safety hazards created by the placement and
8 design of signs; and

9 **WHEREAS**, signs benefit Kitsap County by promoting economic development and transmission
10 of information to the public; and

11 **WHEREAS**, the Washington Constitution, Article XI, Section 11, confers upon county
12 legislative authorities the police power to adopt regulations necessary to protect the health, safety
13 and well-being of its residents; and

14 **WHEREAS**, RCW 36.32.120(7) provides that the county legislative authorities shall make and
15 enforce, by appropriate resolutions or ordinances, all such police and sanitary regulations as are
16 not in conflict with state law; and

17 **WHEREAS**, the state Growth Management Act (GMA), Chapter 36.70A RCW, requires that
18 Kitsap County adopt development regulations that are consistent with and implement the
19 comprehensive plan; and **WHEREAS**, the Kitsap County Board of Commissioners (Board) finds
20 that the requirement of a sign permit or registration for most signs provides assurance of the safe
21 design, placement, and construction of signs in unincorporated Kitsap County.

22 **WHEREAS**, the Board desires a heightened oversight of implementation of this code during the
23 interim development of the 2016 Comprehensive Plan update, staff is directed to provide a
24 review at six months or as comprehensive plan draft goals and policies are developed.

25 **517-2014 KITSAP COUNTY AUDITOR**

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Walter Washington, Kitsap Co Auditor



1 **BE IT ORDAINED:**

2 **Section 1.** Kitsap County Code, Chapter 17.445, last amended by Ordinance 467-2010 is hereby
3 repealed in its entirety.

4 **NEW SECTION. Section 2.** A new Chapter 17.446 “Sign Code” is added to the Kitsap County
5 Code as follows:

6

7 **Sections:**

8 **17.446.010 Purpose**

9 **17.446.020 Definitions**

10 **17.446.030 Permitting**

11 **17.446.040 Prohibited Signs**

12 **17.446.050 Exempt Signs**

13 **17.446.060 Conditionally Exempt Signs**

14 **17.446.070 Regulations for Permanent Signs**

15 **17.446.080 Regulations for Electronic Signs**

16 **17.446.090 Master Sign Plan**

17 **17.446.100 Sign Detail Sheets**

18 **17.446.110 Sign Maintenance**

19 **17.446.120 Non-conforming Signs**

20 **17.446.130 Sign Contractor’s License**

21 **17.446.140 Variances**

22 **17.446.150 Violations**

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1 **17.446.010 Purpose**

2 This section establishes sign regulations and a clear enforcement strategy, which support and
 3 complement land use objectives set forth in the Kitsap County Comprehensive Plan, because
 4 unregulated signs may constitute a public nuisance for the health, safety, convenience, aesthetics,
 5 and welfare of Kitsap County residents. The sign code shall be updated periodically as necessary to
 6 maintain consistency with the Kitsap County Comprehensive Plan and respective Sub-Area Plans. Signs
 7 are necessary for public service and facilitate competitive commerce and industry. These sign
 8 standards and regulations establish a predictable review process for the use of signs that support
 9 the business community, community organizations, and public entities while also promoting the
 10 visual quality of Kitsap County and which may be promoted in community plans. The standards
 11 also promote safety and protect the general public from damage or injury caused by, or partially
 12 attributed to, the distractions, hazards, and obstructions which result from improperly designed
 13 or located signs. The following standards should not regulate the content on a sign; rather the
 14 standards should apply to the design and location of a sign.

15 **17.446.020 Definitions**

16 **A-Frame Sign:** A two panel sign made of wood, cardboard, plastic, or other lightweight and
 17 rigid material capable to stand on its own support(s) and is portable and movable. Also known
 18 as a sandwich board.

19 **Abandoned Sign:** A sign whose a) message does not correspond with the current building use;
 20 or b) a sign which does not promote a commercial product or event and the content of the sign
 21 pertains to a time, event or purpose which has elapsed or expired in the preceding 365 days.

22 **Advertising Wind Sign:** Single or double sided sign or device which flutters, waves, sparkles,
 23 or otherwise moves from the pressure of air movement in or around the sign used to promote a
 24 product or business.

25 **Animation:** A visual effect using seamless action, motion, light, or color changes through
 26 electrical or mechanical means.

27 **Banner Sign:** A sign made from fabric, vinyl, plastic, or other light weight and flexible
 28 materials tied or fastened to a stationary object.

29 **Billboard:** A large outdoor permanent commercial structure off-premise structure advertising
 30 products or services, typically found in high traffic areas such as alongside busy roads.
 31 Billboards present large advertisements to passing pedestrians and drivers.

32 **Channel Sign:** the use of bent metal or plastic to fashion channels in the shape of a letters or
 33 symbols and covered with a translucent plastic face, often a colored acrylic with lighting behind
 34 it.

- 1 **Contrast:** The difference or degree of difference in the appearance of adjacent surfaces, such as
2 light and dark areas, different colors, or typefaces, and graphics appearing on various
3 backgrounds.
- 4 **Copy Area:** That area which displays the primary copy and secondary copy on a sign.
- 5 **County:** Kitsap County, a political subdivision of the State of Washington.
- 6 **Construction Sign:** Signs denoting a building which is under construction, structural
7 alterations, or repair, which announce the character of the building enterprise or the purpose for
8 which the building is intended, including names of architects, engineers, contractors, developers,
9 financiers, and others.
- 10 **Development Sign:** A construction sign denoting the architect, engineer, contractor,
11 subcontractor, financier or sponsor of a residential or commercial development which may also
12 designate the future occupant or use of the development.
- 13 **Department:** The Kitsap County Department of Community Development.
- 14 **Directional Sign:** Signs designed to provide direction to pedestrian and vehicular traffic.
- 15 **Electronic Sign:** A static sign capable of displaying words, symbols, figures or images that can
16 be electronically or mechanically changed by remote or automatic means.
- 17 **Event Sign:** A sign posted to advertise a specific occurrence.
- 18 **Flashing:** A visual effect used on an Electronic Message Center to allow one message to
19 disappear while it is simultaneously being replaced by another.
- 20 **Freestanding Sign:** A sign that is not attached to a building.
- 21 **Halo Lighting Effects:** Channel signs that project light behind them, causing the light to reflect
22 off of the signs mounting surface creating a silhouette of the letter and/or symbol.
- 23 **Human Sign:** A sign carried, held, or supported by a person.
- 24 **Inflatable Sign (continuous inflation):** A sign that is a cold air inflated object, which may be of
25 various shapes, made of flexible fabric, resting on the ground or structure and equipped with a
26 portable blower motor that provides a constant flow of air into the device. Inflatable devices are
27 restrained, attached, or held in place by a cord, rope, cable or similar method.
- 28 **Inflatable Sign (non-continuous inflation):** A sign that is inflated once, typically with a
29 mixture of gases, which may be of various shapes and sizes and held in place by a cord, rope,
30 cable or similar method.

1 **Internally Illuminated Sign:** A sign that has the light source enclosed within it so the source is
2 not visible to the eye.

3 **Externally Illuminated Sign:** A sign illuminated by reflection of a light source aimed at its
4 surface.

5 **Legal Non-conforming Sign:** A sign that was permitted, legally erected, and is maintained but
6 does not conform to the current sign code.

7 **Legibility:** The physical attributes of a sign that allow for differentiation of its letters, words,
8 numbers, or graphics, which directly relate to an observer's visual acuity.

9 **LAMIRD:** Limited Areas of More Intense Rural Development are formally recognized areas
10 within Kitsap County wherein land use intensity is greater than allowed by County zoning
11 regulations. The two types of LAMIRDs existing in Kitsap County are:

12 1) Type I: (Keyport, Manchester, Port Gamble, Suquamish) The only type of LAMIRD
13 currently designated in Kitsap County prior to 2010, this designation is characterized as infill
14 development or redevelopment of existing commercial, industrial, residential, or mixed-use
15 areas, whether as shoreline development, villages, hamlets, rural activity centers, or
16 crossroads. Any industrial development within a Type I LAMIRD must be principally
17 designed to serve the rural population. Any new development or redevelopment must be
18 consistent with existing character of the area with respect to building size, scale, use, or
19 intensity. Type I LAMIRDs must have been established as more densely developed areas as
20 of July 1990, and they must include pre-GMA existing development. Type I LAMIRDs also
21 must be bounded by a "logical outer boundary" that mirrors the limits of the pre-existing
22 development.

23 2) Type III: (12 Trees and Rural Employment Centers) Includes intensification of or new
24 development of lots for isolated cottage industries and isolated small-scale businesses.
25 Residential development is prohibited. Type III LAMIRDs need not principally serve the
26 rural population, but should provide job opportunities for rural residents. Expansion or new
27 development must conform with the rural character of the area as defined by the local
28 government. Public services and public facilities must be limited to those that are the
29 minimum necessary to serve the industry or business.

30
31 **Navigational Sign:** Water based way finding signs as identified by the United States adopted
32 Aids to Navigation (U.S. ATONS).

33 **Name Plate:** A sign used to identify and display the name of a person, product, or place.

34 **Off-Premise Sign:** An outdoor sign whose message directs attention to something that is not
35 sold, produced, manufactured, furnished, or conducted at the property upon which the sign is
36 located.

- 1 **On-Premise Sign:** A sign whose message and design relates to an individual business,
2 profession, product, service, event, point of view, or other commercial or non-commercial
3 activity sold, offered, or conducted on the same property where the sign is located.
- 4 **Organization:** An entity, including a natural person, which owns, operates, or maintains the
5 sign.
- 6 **Permanent Sign:** A sign attached to a building or structure, or to the ground in a manner that
7 enables the sign to resist environmental loads, such as wind, and that precludes ready removal or
8 movement of the sign and whose intended use appears to be indefinite.
- 9 **Political Sign:** A sign providing information relating to a local, state, or national election,
10 initiative, or referendum.
- 11 **Primary Street Frontage:** The lot line where the main visual entrance to the property is
12 located.
- 13 **Public Right-of-Way (ROW):** All property in which the county has any form of real property
14 interest, and which is held for public road, shoulder, and sidewalk purposes, regardless of
15 whether or not any road exists thereon or whether or not it is used, improved, or maintained for
16 public travel.
- 17 **Public Safety Sign:** A sign that is necessary to reduce or eliminate the risk of imminent personal
18 or property damage.
- 19 **Reader board:** A sign or portion thereof on which the copy or symbols change either
20 automatically through electrical or electronic means (for example, time and temperature units), or
21 manually through placement of letters or symbols on a panel mounted in or on a track system.
- 22 **Real Estate Sign:** A sign advertising the real property upon which the sign is located for rent,
23 for lease, or for sale and providing the name and location of the owner or his agent.
- 24 **Rotating Sign:** A sign wherein the faces or portions of a sign face which mechanically revolve
25 around a central axis.
- 26 **Scrolling:** A mode of message transition on an Electronic Message Display where the message
27 appears to move vertically across the display surface.
- 28 **Sign:** Any device, structure, fixture, painting, visual image or logos associated with the business
29 using words, graphics, symbols, numbers, or letters designed and used for the purpose of
30 communicating a message or attracting attention.
- 31 **Signage:** An organization's signs collectively used to communicate information or attract
32 attention.

1 **Storefront Facade:** The side of a building facing the street. The storefront width is measured
2 from the walls of the structure, within which houses an organization. The height is measured
3 from the finished grade to the top of storefront vertical wall. See Figure 1c: Attached Sign
4 Coverage Ratio Example.

5 **Structural Alteration:** Modification of a sign, sign structure or awning that affects size, shape,
6 height, or sign location; changes in structural materials; or replacement of electrical components
7 with other than comparable materials. The replacement of wood parts with metal parts, the
8 replacement of incandescent bulbs with light emitting diodes (LED), or the addition of electronic
9 elements to a non-electrified sign would all be structural alterations. Structural alteration does
10 not include ordinary maintenance or repair, repainting an existing sign surface, including
11 changes of message or image, exchanging painted and pasted or glued materials on painted wall
12 signs, or exchanging display panels of a sign through release and closing of clips or other
13 brackets.

14 **Temporary Sign:** Any sign intended to remain in use for a short period of time which is not
15 permanently installed.

16 **Traffic Control Sign:** Any control device that is intended to communicate specific information
17 to road users through a word, symbol, and/or arrow legend.

18 **Unconventional Sign:** Statues, structural forms, or other items related to business attraction
19 which are not identified in this code.

20 **Warning Sign:** A sign that indicates a particular hazard, obstacle, or condition that may not be
21 readily apparent.

22

1 **17.446.030 Permitting**

2 Prior to installation of a new permanent on-premise or off-premise sign or modification of an
3 existing sign that deviates from its originally permitted appearance or structure, an applicant
4 shall obtain a permit from the Kitsap County Department of Community Development, unless
5 the sign is identified as exempt (see 17.446.050) or conditionally exempt (see 17.446.060).

- 6 **1) Permit Application:** A permit application is required for the placement or modification of a
7 sign unless otherwise exempted herein. The document must include all information
8 necessary to determine whether a sign meets all criteria to acquire a permit. Freestanding
9 signs shall require a dimensioned site plan as part of the submittal document, see Figure 1a:
10 Dimension Site Plan Example. A licensed professional entity is recommended, but is not
11 required, to prepare the dimensioned site plan.
- 12 **2) Fees:** All applications for permits or requests for actions by the county shall be accompanied
13 by a filing fee in an amount established by county resolution.
- 14 **3) Permit Expiration:** If the permitted sign is not constructed to completion prior to the 365th
15 day from the day of the original permit the permit shall expire and a new permit application
16 is required.
- 17 **4) Permit Placard:** A permit placard issued by the Department shall be issued to the applicant.
18 The permit placard must be attached to the sign or available upon inspection.
- 19 **5) Internal Consistency:** In the event of conflict with other sign requirements that may be
20 applicable (state or federal), the more restrictive shall apply.
- 21 **6) Sign Revision:** Should a conflict arise between the prior conditions of land use approval and
22 the code herein, a sign permit application shall be reviewed in accordance with the
23 appropriate land use procedures under Title 21 KCC.
- 24 **7) A permit is not needed when changing of the text or image on a sign, where the sign's**
25 **structural size or shape is not changing. Repainting, maintenance, and repair of existing**
26 **signs or sign structures; provided, no structural change is made. Off-premise repairs are**
27 **allowed if the sign is returned to its pre-removal location in its originally permitted state.**

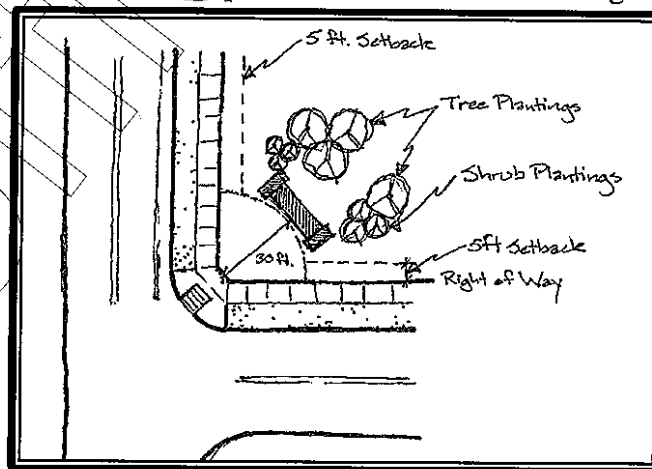


Figure 1a: Dimensioned Site Plan Example

1 **17.446.040 Prohibited Signs**

2 Unless otherwise exempt or conditionally exempt under this chapter, the following signs shall be
3 prohibited:

- 4 1) Off-premise signs unless specifically allowed pursuant to sections 17.446.050 Exempt or
5 17.446.060 Conditionally Exempt.
- 6 2) Signs or sign structures which resemble or conflict with, or are attached to, a utility pole or
7 traffic control sign, unless otherwise authorized by the director in section 17.446.060 (11)
8 Military Signage Appreciation Program.
- 9 3) Signs or sign structures which create a safety hazard by obstructing the line of sight of
10 pedestrians or vehicular traffic, or which obstruct a clear view of official signs or signals as
11 determined by Kitsap County.
- 12 4) Signs or sign structures, located in traffic roundabouts, islands, or medians.
- 13 5) Signs or sign structures located within 30 feet from intersecting Kitsap County right-of-way
14 lines, see Figure 1a: Dimensioned Site Plan Example.
- 15 6) Signs or sign structures which obstruct access to drives, doors, walks, windows, fire escapes
16 or fire escape routes.
- 17 7) Signs, temporary or otherwise, affixed to a tree.
- 18 8) Signs placed on public property, including Kitsap County right-of-way, except when
19 authorized by the appropriate public agency or specifically authorized in this sign code.
- 20 9) Electronic signs outside Urban Growth Areas except traffic control signs and public safety
21 signs as identified in section 17.446.080 Regulations for Electronic Signs.
- 22 10) Abandoned or un-maintained signs.
- 23 11) Stationary or mobile billboards.
- 24 12) Signs with animation, flashing, or fluttering lights.
- 25 13) Rotating signs.
- 26 14) Audible signs, except as mandated or encouraged by the American Disability Act.
- 27 15) Banner or continuous inflatable or non-continuous inflatable signs not associated with a
28 special event.
- 29 16) Signs placed on a vehicle or trailer to purposefully gain additional signage which would
30 otherwise not be allowed. This does not prohibit the identification of a business or its
31 products on a vehicle or trailer included in the operations of the business.
- 32 17) In the Kingston Urban Growth Area a) except for halo lighted signs, internally illuminated
33 signs in the Old Town/Waterfront or Village Green districts as defined in the Kingston Sub-
34 Area Plan and b) mounted or freestanding reader board signs.
- 35 18) In Limited Area of More Intense Rural Development (LAMIRD) a) internally illuminated
36 signs b) neon signs or c) electronic signs.
- 37 19) Electronic signs in Old Town district Silverdale as defined in the Silverdale Sub-Area Design
38 Standards.

1 **17.446.050 Exempt Signs**

2 A sign or modification to an existing sign shall be exempt from review under this sign code and
3 may be constructed without a permit:

- 4 1) Historic site markers or plaques, gravestones, and address numbers.
- 5 2) Signs required by law, including but not limited to:
- 6 a) Official or legal notices issued and posted by any public agency or court; or
- 7 b) Traffic directional or warning signs.
- 8 3) Seasonal or Holiday decorations that do not function as signage.
- 9 4) Plaques, tablets or inscriptions indicating the name of a building, date of erection, or other
10 commemorative information, which are an integral part of the building structure or are
11 attached flat to the face of the building, which are non-illuminated, and which do not exceed
12 4 square feet in surface area.
- 13 5) Religious symbols as recognized by the Department of Veterans Affairs National Cemetery
14 Administration affairs religious symbol list.
- 15 6) On-premise directional signs less than 4 square feet.
- 16 7) Garage sale, estate sale, or other temporary signs for similar events less than 4 square feet.
- 17 8) Legal informational signs less than 4 square feet (e.g., No Trespassing or No Fireworks).
- 18 9) Residence identification signs (e.g., 1234 Road Name: The Smiths).
- 19 10) Information signs erected and maintained by the state, county or any city.
- 20 11) On-premise window or door signs indicating business hours of operation or when a business
21 is open or closed. These signs may be static/electronic signs regardless of where the business
22 is located. The size cannot exceed 4 square feet.
- 23

1 **17.446.060 Conditionally Exempt Signs**

2 A temporary sign shall be conditionally exempt from this sign code and may be constructed,
 3 without permits, if consistent with the size, height, duration, maximum number limitations, and
 4 other criteria listed below. Unless expressly stated, conditionally exempt signs are not allowed to
 5 be lighted, conflict with or impede views of permanent signs or signals, or be located in Kitsap
 6 County right-of-way or publically-owned property pursuant to prohibited sign section
 7 17.446.040.

8 **1) A-Frame Sign or temporary sign:**

- 9 a) Only one A-frame sign, advertising wind sign, or temporary sign, not associated with a
 10 special event, is allowed per organization and shall only be displayed during business
 11 hours, an on-premise sign, and not impede vehicular, bicycle, or pedestrian circulation.
 12 i) An A-frame sign shall have two faces and not exceed three feet in height or width, or
 13 exceed a total of 6 square feet per sign face.
 14 ii) Advertising wind signs shall be no more than eight feet tall and not exceed a total of
 15 16 square feet per sign face.

16 **2) Special event A-Frame, banner, double post, inflatable, or wall sign:**

- 17 a) All special event signs shall be placed no more than 14 days prior to the event
 18 occurrence, and removed five days after the event has occurred. Multiple events of the
 19 same type (e.g., Farmers market every Saturday between March 1 and August 31).
 20 Four (4) A-Frame signs are allowed per special event in addition to a banner, double
 21 post, inflatable, or wall sign and shall be allowed within the Kitsap County right-of-
 22 way, sizing to be consistent with 17.446.060 (1)(a). A-frame signs in the ROW:
 23 i) An A-frame sign shall not impede public vehicular, bicycle, or pedestrian circulation.
 24 ii) Attachments, including balloons, shall not be placed on signs.
 25 iii) Symbols and directional arrows shall be used as the first order of preference in sign
 26 design to minimize wording and enhance safety and legibility
 27 iv) Wire or metal stakes shall not be utilized to secure signs within the County right-of-
 28 way. Where anchoring is utilized to stabilize signs within the Kitsap County right-of-
 29 way, sandbags shall be used.
 30 b) Banner or wall signs shall be no more than 100 square feet.
 31 c) Inflatable signs flown more than 20 feet in elevation measured from finished grade shall
 32 be required to obtain a sign permit.
 33 d) Special event double pole signs shall be no greater than 32 square feet and must not
 34 exceed eight feet in height as measured from the finished grade.

35 **3) Arm Sign:**

- 36 a) Permanent and temporary arm signs provided that the sign conforms to the sign detail
 37 sheet (Sign Detail Sheet: Arm Sign).
 38

39 **4) Window Sign:**

1 a) Permanent and temporary window signs provided that the sign conforms to the sign detail
2 sheet (Sign Detail Sheet: Window Sign).

3 **5) Flag:**

4 a) Provided the flag is attached to a permanent flag pole or side of a building. A permit may
5 be required to erect a flag pole pursuant to 2009 International Building Code Section
6 1609.1.1 Determination of Wind Loads and Section 105 Permits.”

7 **6) Political sign:**

- 8 a) A political sign is allowed in Kitsap County right-of-way provided that a sign:
9 i) Using metal faces, metal supports, metal frames, or wire frames is prohibited
10 ii) Is limited to a size no greater than four square feet and may not extend higher than 40
11 inches measured from the point in which it is placed in the ground to the top of the
12 sign and
13 iii) Shall be removed ten days after an election. After primary elections, political
14 campaign signs endorsing or opposing a successful candidate or ballot measure may
15 remain up to ten days after the succeeding general election.
16 b) Political campaign sign(s) are allowed on private property and may express a property
17 owner’s endorsement of a political candidate or ballot issue provided:
18 i) Political campaign signs are limited to a maximum size of 32 square feet, and
19 ii) Political campaign signs on private property must be removed within ten days after an
20 election. After primary elections, political campaign signs endorsing or opposing a
21 successful candidate or ballot measure may remain up to ten days after the succeeding
22 general election.

23 **7) On-premise directional signs:**

24 a) Exit, entrance, or other on-site traffic directional signs are permitted. The maximum
25 height of any directional sign shall be 36 inches, and the maximum area shall be nine
26 square feet. No text shall be larger than the directional language text.

27 **8) Community sign placed by Kitsap County:**

28 a) A community sign is exempt provided that the community and Kitsap County enter a
29 written agreement wherein the community assumes ownership and responsibility for any
30 and all installation, maintenance, repairs, and content of the sign, and conforms to sign
31 policies developed for the particular community sign.

32 **9) Human sign:**

33 a) A human sign shall not obstruct public bicycle lanes or public sidewalks.

34 **10) Roadside memorial sign:**

35 a) Provided that it meets Kitsap County Public Works Roads and Traffic Roadside
36 Memorial Policy 300.5.

37 **11) Military Appreciation Signage Program:**

38 a) A sign may be placed on Kitsap County owned property provided the sign(s) placement
39 is approved by the director. This includes, but is not exclusive to, banners attached to
40 utility poles.
41

1 **12) Agricultural and Farm Stand Signage Program:**

- 2 a) Up to four off-premise A-frame signs shall be allowed within the Kitsap County right-of-
 3 way, sizing to be consistent with 17.446.060 (1)(a), with the sellers name and contact info
 4 on back. A-frame signs in the ROW:
 5 i) An A-frame sign shall not impede public vehicular, bicycle, or pedestrian circulation.
 6 ii) Attachments, including balloons, shall not be placed on signs.
 7 iii) Signs shall maintain a 200-foot setback when approaching an intersection or a yellow
 8 and black county warning sign.
 9 iv) Symbols and directional arrows shall be used as the first order of preference in sign
 10 design to minimize wording and enhance safety and legibility
 11 v) Wire or metal stakes shall not be utilized to secure signs within the County right-of-
 12 way. Where anchoring is utilized to stabilize signs within the Kitsap County right-of-
 13 way, sandbags shall be used.
 14 b) A farm stand sign is exempt provided the sign does not exceed 6 square feet.
 15 c) A farm identification sign may be a permanent arm sign located on the premises, on or
 16 adjacent to an easement road leading to the farm, as allowed with written consent from all
 17 easement owners. The arm sign shall conform to Sign Detail Sheet: Arm Sign
 18 requirements.

19 **13) Real Estate Signage Program:**

- 20 a) All real estate signs must have the real estate broker name and phone number on any
 21 and all types of real estate signs. The name and phone number is not required to be
 22 visible to the public. All real estate signs shall be removed within ten days of the date
 23 of closing.
 24 b) For a single-family residential property, one unlighted on-site arm sign is allowed per
 25 street frontage in addition to directional signs located on easement(s) leading to the
 26 property for sale and one attached special event banner sign located on the subject
 27 property.
 28 c) On-site development "for sale" shall be limited to one sign per development entrance.
 29 The sign shall not exceed 32 square feet in area, and shall not exceed eight feet in
 30 height. A sign permit is required and shall be issued for a three year period. The
 31 permit is renewable annually for up to a maximum of five years.
 32 d) On-site "for rent" shall be limited to one sign per development entrance. The sign shall
 33 not exceed 12 square feet in area, and shall not exceed eight feet in height.
 34 e) Open House Events: A maximum of four off-premise arrow signs, A-frame signs, or
 35 combination thereof may be used to promote open house events, per property for sale
 36 or subdivision. Such signs shall be permitted only when the agent or seller is in
 37 attendance at the property for sale or rent and may be located on the right-of-way
 38 outside of vehicular and bicycle lanes and sidewalks.
 39 f) Off-premise signs advertising subdivisions shall require a three year sign permit. The
 40 permit may be renewed for up to five years. The sign shall be no more than 12 square

1 feet. A letter of consent from the property owner shall be required as part of sign
2 permit approval.
3

4 **17.446.070 Regulations for Permanent Signs**

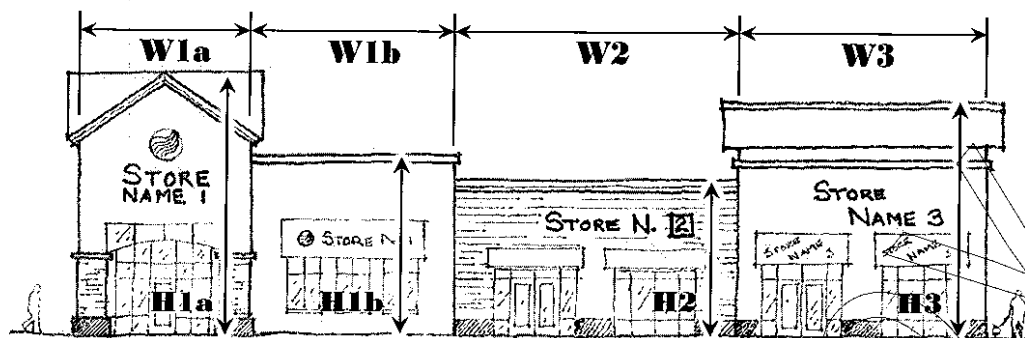
- 5 1) **Sign Types:** For the purposes of this sign code there are two types of permanent signs:
6 freestanding and attached. See sign type detail specification sheets, 17.446.100, for
7 individual sign type requirements.
- 8 2) **Quantity:** An organization may place one on-site freestanding sign per street frontage in
9 addition to attached signage. One additional freestanding sign is permitted for each
10 additional 200 feet of street frontage over 100 feet of street frontage. There is no limit to the
11 number of attached building signs, provided the maximum aggregated sign area coverage is
12 not exceeded.
- 13 3) **Master Sign Plan:** A master sign plan shall be required or allowed pursuant to section
14 17.446.090.
- 15 4) **Attached Signage Total Area:** Attached signs a) may have an aggregated area that shall not
16 exceed two square feet for each one lineal foot of building facade width except when
17 17.446.100 Sign Detail Sheet: Wall Sign indicates otherwise, b) shall not exceed 100 square
18 feet in area, except it may exceed the maximum if the total sign area is less than 10 percent of
19 the total storefront area and except when 17.446.100 Sign Detail Sheet: Wall Sign indicates
20 otherwise. Attached signs shall have a maximum aggregated area of 100 square feet for all
21 building signs attached to a single building (see Figure 1b. Attached Signage Total Area
22 Example).
- 23 5) **Sign Illumination:** The artificial illumination of signs shall be designed to minimize
24 negative impacts on surrounding properties.
- 25 a) Provided an organization is not open for business, signs located within residential areas in
26 Urban Growth Areas and signs located outside Urban Growth Areas (UGA) or Type III
27 Limited Areas of More Intense Rural Development (LAMIRDs) including schools,
28 churches, government, and quasi government shall not be illuminated after 10 pm. Signs
29 shall include down cast lighting and not be illuminated before 6 am.
- 30 b) External light sources shall be shielded and direct illumination towards the sign only.
- 31 c) Light sources shall utilize energy-efficient fixtures wherever feasible.
- 32 d) Pursuant to section 17.455.110 Lighting is to be directed away from adjoining properties.
33 Not more than one foot candle of illumination may leave the property boundaries.
- 34 6) **Relationship to Buildings:** Signs shall be designed to incorporate the overall architectural
35 style and at least one of the predominant visual elements of the organization's building or
36 buildings, including, but not exclusive to, the type of construction materials, color, or
37 geometric forms.
- 38 7) **Landscaping:** Freestanding sign applications shall include landscaping in the dimensioned
39 site plan, see Figure 1a: Dimensioned Site Plan Example. Landscaping shall include ground

1 cover or shrubs which accent the sign while not blocking sign lettering or symbols used for
2 recognition. Identification of plant species is not required in the site plan. Native, water-
3 wise plantings are encouraged.

4 8) **Setbacks:** Freestanding signs, excluding arm signs, shall be setback a distance of 30 feet
5 from intersecting Kitsap County right-of-way lines pursuant to section 17.446.040 Prohibited
6 Signs or a distance of five feet measured from the property line, whichever is greater. The
7 nearest sign edge measurement includes cantilevering sign edges.
8

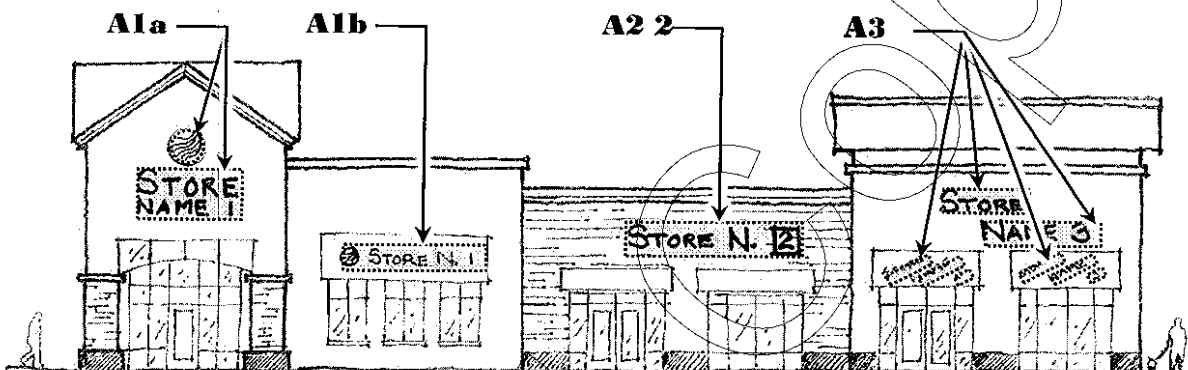
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W:	Width is measured from the walls of the structure.
H:	Height is measured from the finished grade to the highest point of the building's vertical wall.
A:	Attached sign area is measured pursuant to Measurement Calculation Methods 17.446.070(9)(b).
ASA:	Allowable Attached Sign Total Area for this example is 2 square feet per lineal foot of frontage, see wall sign detail sheet to determine exact square footage allowed. If the area allowed from the initial calculation is less than 10 percent of the wall area, the sign area may be increased to reach 10 percent of the wall area.
Store Name 1	
ASA1:	$(A1a + A1b) \leq 2 * (W1a + W1b)$ or 10 percent of the wall area = $0.10 * (W1a * H1a) + (W1b * H1b)$
Store Name 2	
ASA2:	$(A2) \leq 2 * (W2)$ or 10 percent of the wall area = $0.10 * (W2 * H2)$
Store Name 3	
ASA3:	$(A3) \leq 2 * (W3)$ or 10 percent of the wall area = $0.10 * (W3 * H3)$
Store Name 4: A large storefront with multiple businesses within it, such as a grocery store with an associated drug store and coffee store all located and operating in the same building space.	
ASA4:	$(A4) \leq 2 * (W1a + W1b + W2 + W3)$ or 10 percent of the wall area = $0.10 * [(W1a * H1a) + (W1b * H1b) + (W2 * H2) + (W3 * H3)]$

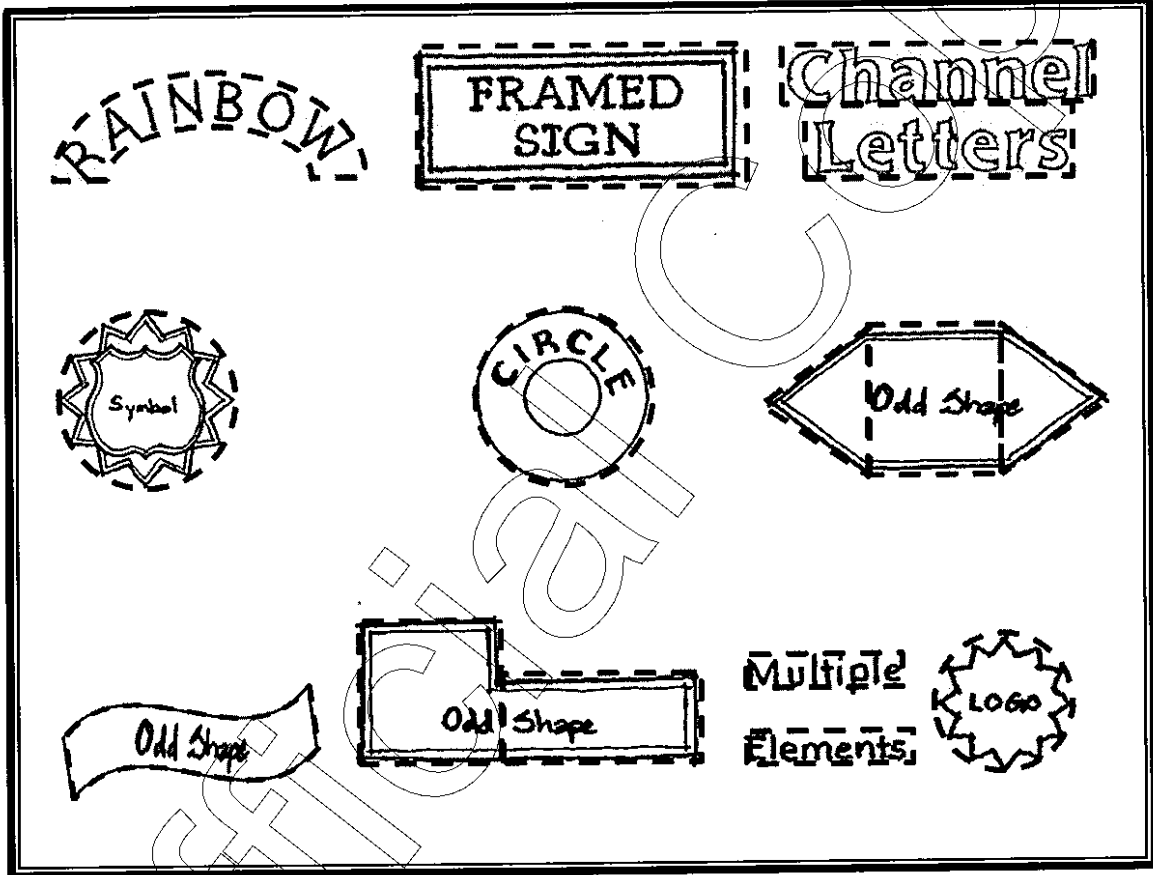
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6

Figure 1b: Attached Sign Total Area Example

1 9) **Measurement Calculations:**

- 2 a) Freestanding sign height shall be measured as the largest dimension from the highest
 3 point of the sign to where the sign intersects with the finished grade, see Figure 1b:
 4 Attached Sign Coverage Ratio Example.
 5 b) Measurement of the copy area is inclusive to all attributes in and around the sign not
 6 immediately related to the structure on which it is attached.
 7 c) Simple geometric shapes (rectangles, triangles, circles, ovals etc.) shall be used in
 8 combination to measure odd or complex text or graphics as seen in Figure 1c: Copy Area
 9 Calculation Method.



10
 11 Figure 1c: Copy Area Calculation Method
 12
 13

1 **17.446.080 Regulations for Electronic Signs**

2 Electronic signs are allowed in all commercial or industrial zones within an Urban Growth Area
3 (UGA). Schools, churches, or governments may have an electronic sign in any zone within an
4 UGA. Traffic control signs or public safety signs may have an electronic sign in any zone inside
5 or outside of an UGA. An electronic display shall not exceed 50% of the sign size. An
6 electronic sign is not allowed to be part of or in its entirety a conditionally exempt sign. Not
7 withstanding Section 17.446.070 (5) Illumination requirements, the following illumination
8 requirements shall apply:

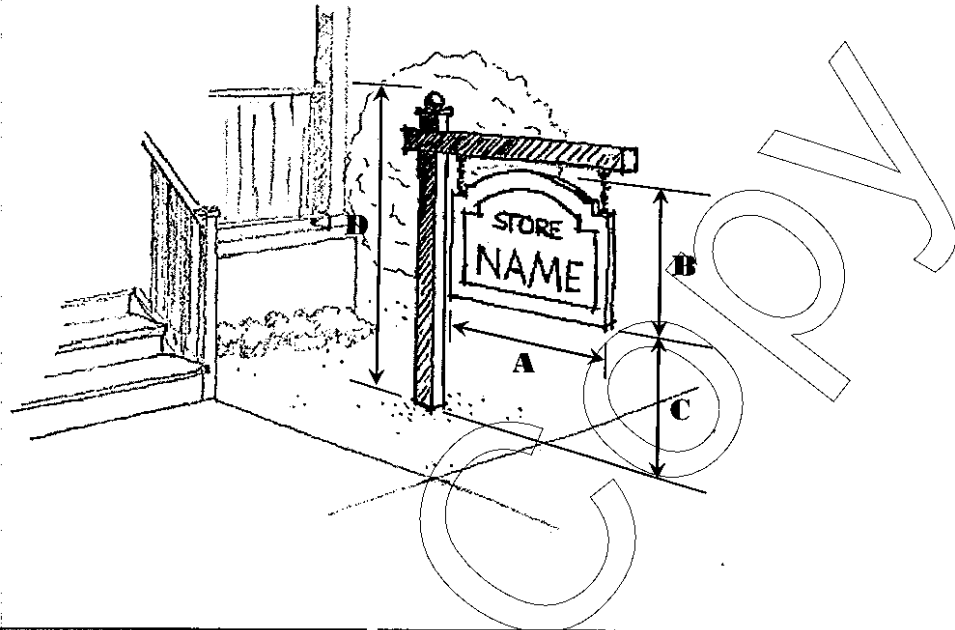
- 9 1) **Hold Time:** The digital message or static image shall remain on the display for a minimum
10 of eight seconds. No more than three messages shall be displayed within a one minute
11 timeframe.
- 12 2) **Transition Method:** A transition between messages shall be executed with a minimum fade
13 in and out time of one second.
- 14 3) **Illumination Levels:** Electronic signs shall incorporate photocell/light sensors, with
15 automatic dimming technology that appropriately adjusts to ambient light conditions.
16 Displays shall have a brightness level of no greater than 0.3 foot candles above ambient light
17 conditions or shall maintain accordance with 17.446.070 (5)(d), whichever is more
18 restrictive. An affidavit showing compliance consent shall be required with the sign
19 application.
- 20 4) **Maintenance:** Any permitted electronic changeable message sign that malfunctions, fails, or
21 ceases to operate in its usual or normal programmed manner shall be repaired or
22 disconnected within five days by the owner or operator of the sign. Unless proven to be
23 mechanical failure through no fault of the sign owner, electronic signs found to be in
24 violation of the sign illumination requirements may be subject to code enforcement citations
25 and penalties pursuant to Kitsap County code.
26

1 **17.446.090 Master Sign Plan**

- 2 1) To achieve a more consistent and coordinated signage pattern a master sign plan shall be
 3 required for all new, nonresidential developments of three or more separate tenant spaces that
 4 either a) share the same parcel or structure or b) use common access and parking facilities. A
 5 master sign plan may be allowed for developments of three or more separate tenant spaces
 6 that do not share the same parcel or structure.
- 7 2) An application for master sign plan must include the following submittals:
 8 a) Signature of all property owners within the master sign plan boundaries.
 9 b) A master sign plan is required to include the size, location and configuration of all proposed
 10 and/or previously approved signage.
 11 c) The master sign plan shall identify the number of tenants to be represented in the sign plan.
 12 d) The master sign plan shall include a strategy to provide signage for future tenant changes or
 13 increase in number above the original number of tenants identified in 17.446.090 (2)(c). The
 14 strategy shall identify how signage will change to maintain conformance with the Sign Code
 15 when the master sign plan is approved.
 16 e) A master sign plan must be approved through a Type II review process (ACUP) consistent with
 17 the requirements of Title 21 of this code. All signage approved through a previous performance
 18 based development, conditional use permit, variance or other approval that allowed greater sign
 19 quantities, square footage or configurations than allowed by this chapter must be amended to
 20 conform to the current Sign Code regulations. Revisions to previously approved master sign
 21 plans shall be treated as a Type II review process (ACUP).
- 22 3) For parcels under 20 acres in size:
 23 a) An organization may place one on-site freestanding sign per street frontage in addition to attached
 24 signage. One additional freestanding sign is permitted for each additional 150 feet of street
 25 frontage over 100 feet of street frontage. The plan shall meet the following criteria:
 26 i) Signs must conform to the permitted sizes in section 17.446.100 Detail Sheets.
 27 ii) No one business may comprise more than 50 square feet of each sign face.
- 28 4) For individual or contiguous parcels which are 20 acres or greater in size the following limitations
 29 shall apply:
 30 a) An organization may place one on-site freestanding sign per street frontage in addition to attached
 31 signage. One additional freestanding sign is permitted for each additional 150 feet of street
 32 frontage over 100 feet of street frontage. Freestanding signs inside the development shall not be
 33 counted against the number of freestanding signs allowed. The plan shall meet the following
 34 criteria:
 35 i) Each sign may not exceed 200 square feet per face and may not have more than two faces.
 36 ii) No one business may comprise more than 50 square feet of each sign face.
 37 iii) A monument sign shall not be limited by the minimum or maximum height requirements of
 38 Section 17.446.100 Detail Sheets but shall not exceed twenty-five feet in height.
- 39 b) Attached signage shall meet the following criteria:
 40 i) Signs must conform to the permitted sizes in section 17.446.100 Detail Sheets, except two
 41 blade signs internal to the development shall be allowed per organization, not to exceed 25
 42 square feet per face.

43

1 17.446.100 SIGN DETAIL SHEET: ARM SIGN

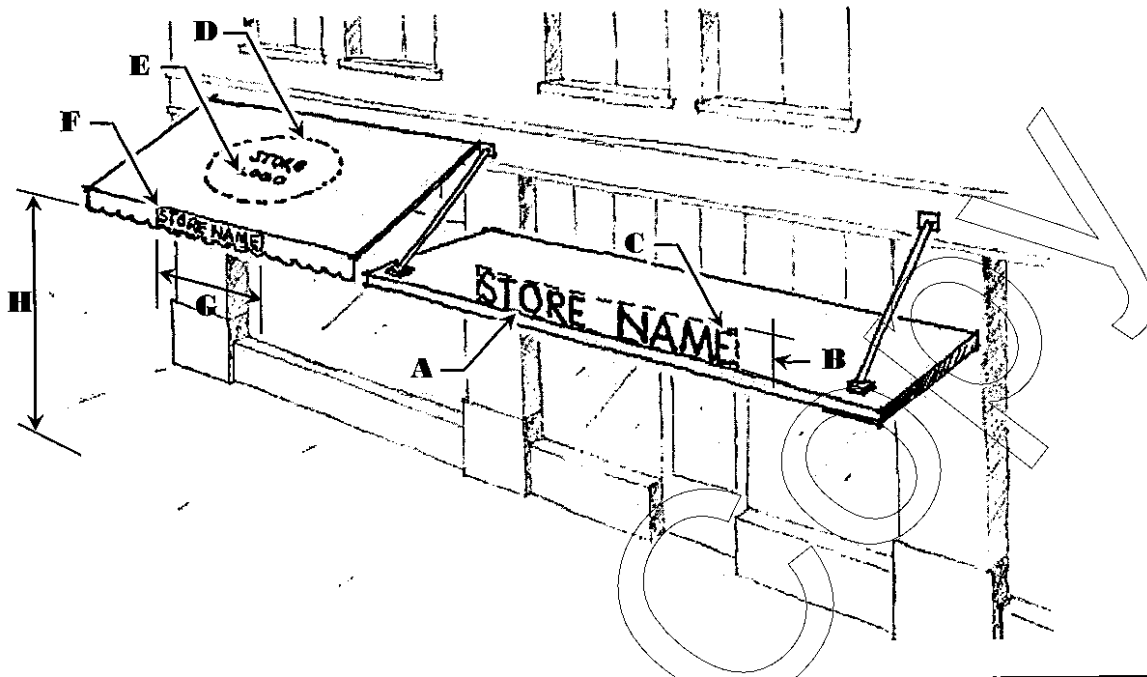


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Arm Sign: Definition		Location	
A sign attached to one or two freestanding post(s), with the faces of the sign generally projecting perpendicular to the public right-of-way.		Clear Height	12 in. min. C
		Overall Height:	6.5 ft. max. D
		Setback (measured from the closest edge to the property line)	3 ft. min.
Allowed in the following zones		Number	1 per street frontage max.
All Zones		Miscellaneous	
Size		Arm signs shall be registered with Kitsap County.	
Width	36 in. max. A		
Height	48 in. max. B		
Copy Area (B x A)	6 sf. max. Home Businesses within Urban Growth Area Boundaries: 4 sf. max.		

4

1 17.446.100 SIGN DETAIL SHEET: AWNING SIGN



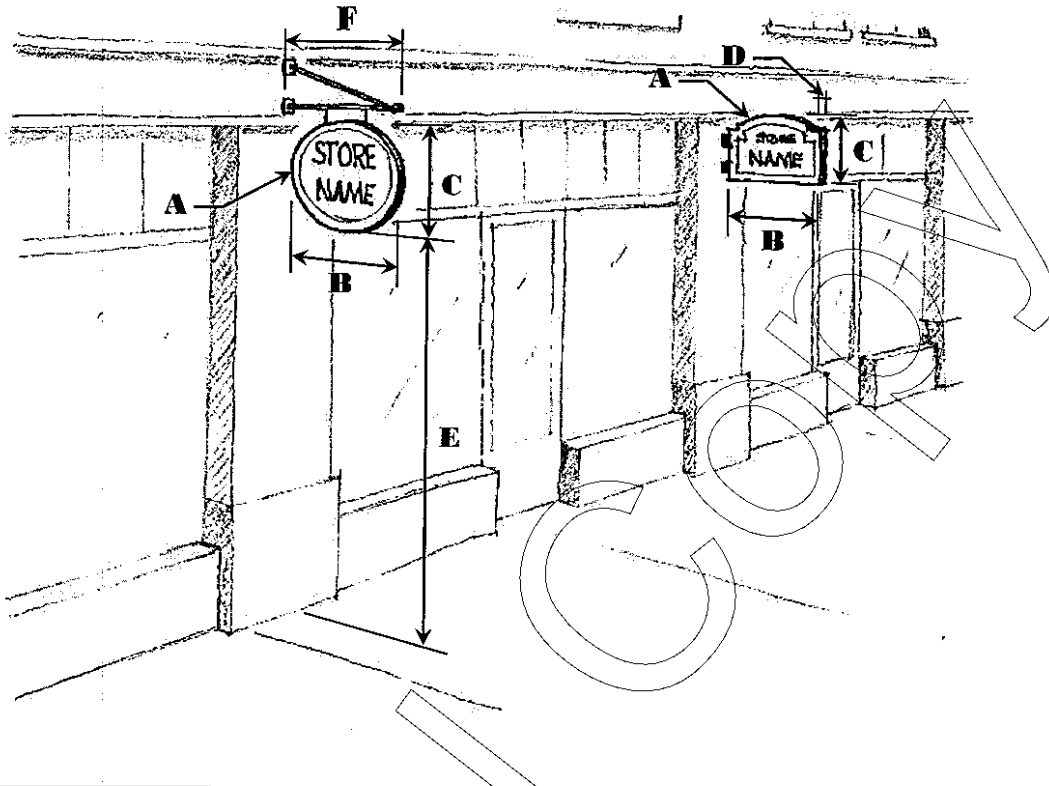
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Awning Sign: Definition		Size (continued)	
A sign located on a building mounted shade structure that provides additional functionality as shelter.		Sloping Plane	
Allowed in the following zones		Copy Area:	25% coverage max. D
All Zones		Valance	
Size		Letter Height:	80% of valance height, 16 in. max. F
Projecting		Letter Width:	75% of valance width max. G
Sign Area:	Two (2) sf. per linear ft of shopfront max. A	Location	
Letter Height:	16 in. max. B	Clear Height:	8 ft. min H
Letter Thickness:	6 in. max. C	Miscellaneous	
		Vinyl or plastic awnings are discouraged in this code.	

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1 17.446.100 SIGN DETAIL SHEET: BLADE SIGN

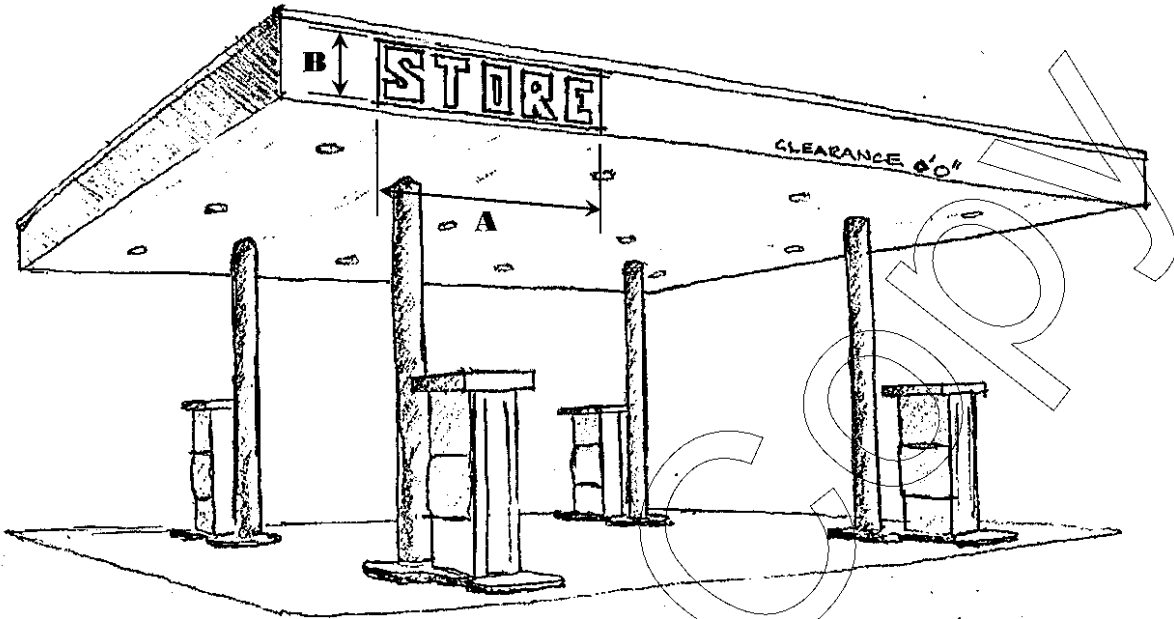


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Blade Sign: Definition	A building mounted sign projecting 12 inches or more perpendicular to the building, or hung parallel to the building eave, with a maximum area of 10 square feet allowed.			
				Size
		Copy Area (B X C):	8 sf. max.	A
		Width:	36 in. max.	B
		Height:	36 in. max.	C
		Thickness:	10 in. max.	D
Special and creative signs that have a three dimensional quality may have a greater thickness subject to approval by the director.				
Location				
Clear Height		8 ft min.	E	
Projection		5 ft max.	F	
Number		1 per storefront max.		
Miscellaneous				
The area of a blade sign shall be included in the collaborative storefront coverage ratio.				
All exposed edges of the sign should be finished.				
Allowable in the following zones				
All Zones				

4

1 17.446.100 SIGN DETAIL SHEET: CANOPY SIGN



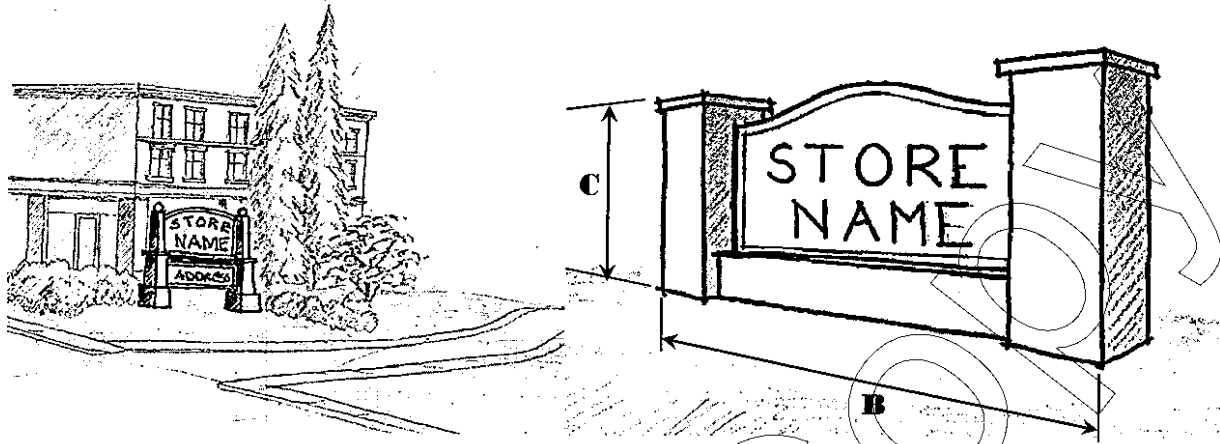
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<p>Canopy Sign: Definition</p> <p>A sign located on the edge of a freestanding canopy.</p>	<p>Size</p>	
	<p>Width:</p>	<p>25% of canopy edge, max. A</p>
	<p>Height:</p>	<p>75% of canopy edge, max. B</p>
<p>Miscellaneous</p>		
<p>A clearance height notification will not be calculated into the copy area.</p>		
<p>The sign shall not extend beyond the edge of the canopy more than 8 inches.</p>		
<p>Signage shall only be allowed on three faces of the canopy.</p>		
<p>Allowable in the following zones</p> <p>Commercial and Industrial Zones Only</p>		

3

4

1 **17.446.100 SIGN DETAIL SHEET: MONUMENT SIGN**



2

Monument Sign: Definition
 A free-standing sign, generally having a low monolithic profile such that the sign has the appearance of a solid base.

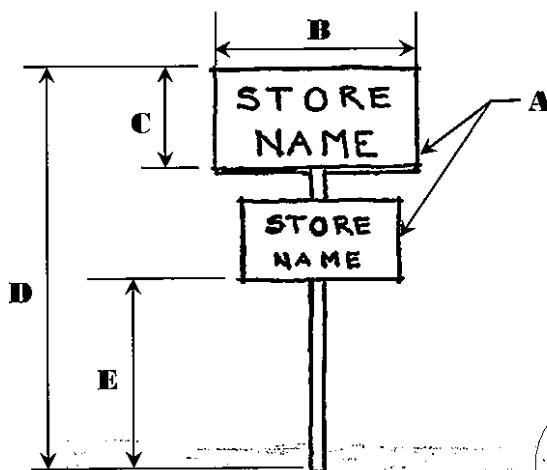
Application
 Typically used in entrances for single or multiple commercial or industrial tenants.
Allowable in the following zones
 All zones

3

Allowed Size By Zone			
Zones:		BC, BP, I, RI, HTC, RC, MU, RCO, REC, TTEC, Any zone within a Type III LAMIRD	RR, URS, RP, RW, FRL, NC, UR, IGZ, UL, SLH, UCR, UM, UH, UVC, Kingston HTC, Kingston MU, SVC, SVR, SVLR, RHTC, RHTR, RHTW, MVC, MVLR, MVR, KVC, KVL, KVR
Width:	B	15 ft. max.	10 ft. max.
Height:	C	12 ft. max.	8 ft. max.
Sign Area		Per face 100 sf. max.	Per face 50 sf. max.
(B x C):			

4

1 17.446.100 SIGN DETAIL SHEET: POLE SIGN



2
3

Pole Sign: Definition		Miscellaneous
A freestanding sign supported by one or more structural elements that are either: (a) architecturally dissimilar to the design of the sign; or (b) less than 1/4 the width of the sign face.		A pole sign shall only be used if no other feasible freestanding sign alternative exists and only when variances cannot be used. The sign cannot be used to increase visibility beyond a reasonable reach.
Allowed Size By Zone		
Zones:	BC, BP, I, RI, HTC, RC, MU, RCO, REC, TTEC, Any zone within a Type III LAMIRD	URS, Kingston HTC, Kingston MU, SVC, RHTC, RHTW, MVC, KVC, UVC, UCR, SLH, UM, UH, NC
Copy Area:	A 70% coverage max.	70% coverage max.
Width:	B 10 ft. max.	8 ft. max.
Height:	C 10 ft. max.	8 ft. max.
Sign Area (B x C):	Per face 100 sf. max.	Per face 50 sf. max.
Sign Height:	D The lesser of roof height or 20 ft. max.	The lesser of roof height or 16 ft. max.
Clearance Height:	E 8 ft. min.	8 ft. min

4

1 7.446.100 SIGN DETAIL SHEET: ROOF SIGN



2

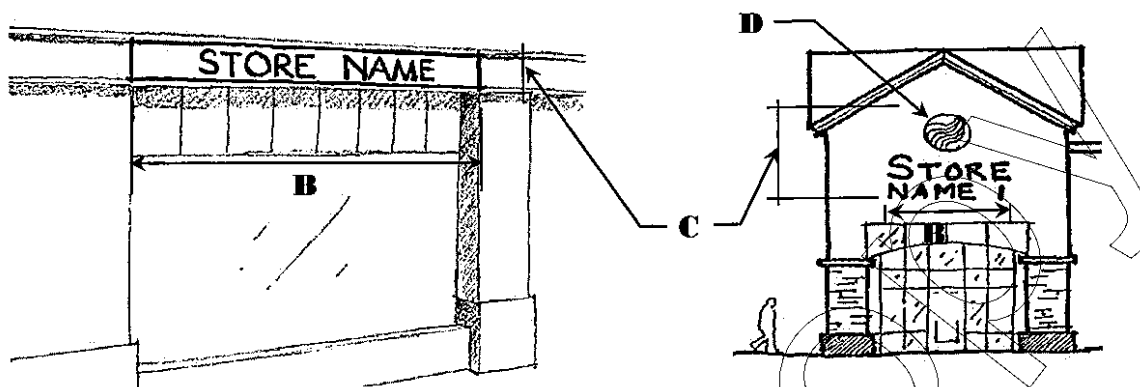
Roof Sign: Definition		Size (continued)	
A building-mounted sign erected upon, against, or over the roof of the building.		Height (Pitched Roof):	50% of the distance between the roofline and top of eave as measured in an elevation drawing, 5ft max. C
Allowable in the following zones		Location	
All zones		Pitched Roof	The sign's center point must be located at or below the midpoint of the roof as seen in an elevation drawing.
Size		Miscellaneous	
Sign Area (B x C):	3 sf per linear foot of shopfront, 100 sf max. A	A roof sign shall only be used if no other feasible attached sign alternative exists and only when variances cannot be used. The sign cannot be used to increase visibility beyond a reasonable reach.	
Width:	50% of storefront width, max. B		
Height (Flat Roof):	12 in. min; 3 ft max. C		

3

4

1 **17.446.100 SIGN DETAIL SHEET: WALL SIGN**

2



3

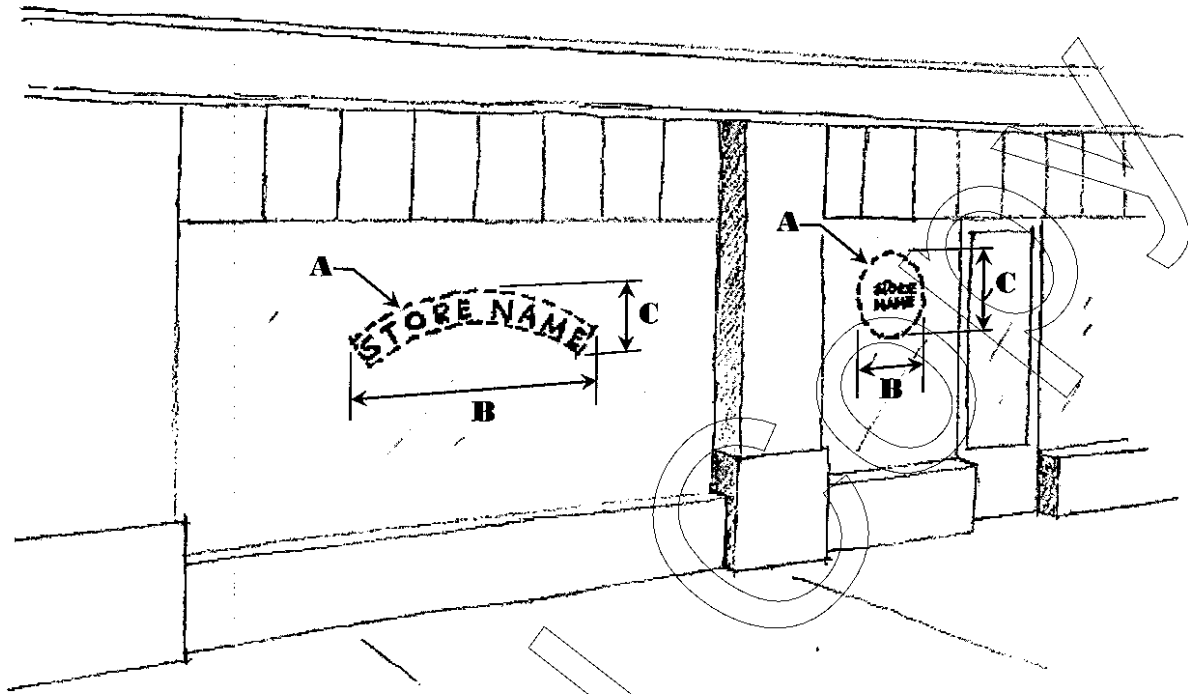
Wall Sign: Definition
 A building-mounted or wall-mounted sign which is either attached to, displayed, or painted on an exterior wall in a manner parallel with the wall surface, and not projecting more than 12 inches from such surface. A sign located on a freestanding wall or retaining wall not incorporated into a building's structure shall be considered a freestanding sign.

Miscellaneous
 The copy area of a wall sign shall not extend into architectural features such as windows, eaves, cornices, and rooflines.

Allowed Size By Zone			
Zones:		BC, BP, I, RI, HTC, RC, MU, RCO, REC, TTEC, Any zone within a Type III LAMIRD	RR, URS, RP, RW, FRL, NC, UR, IGZ, UL, SLH, UCR, UM, UH, UVC, Kingston HTC, Kingston MU, SVC, SVR, SVLR, RHTC, RHTR, RHTW, MVC, MVLR, MVR, KVC, KVL, KVR
Sign Area: (B x C)+D	A	3 square feet for each linear foot of storefront or wall facade, 200.sf. max. If the area allowed from the initial calculation is less than 10 percent of the wall area, the sign area may be increased not to exceed 10 percent of the wall area.	2 square feet for each linear foot of storefront or wall facade, 150 sf. max. If the area allowed from the initial calculation is less than 10 percent of the wall area, the sign area may be increased not to exceed 10 percent of the wall area.
Width:	B	75% storefront or wall width, max.	75% storefront or wall width, max.
Height:	C	8 ft. max.	5 ft. max.
Graphic or Logo:	D	A sign with only a graphic or logo is subject to the maximum sizes defined by A, B, and C of the wall sign type.	
Projection from Facade		12 in. max	12 in. max

4

1 17.446.100 SIGN DETAIL SHEET: WINDOW SIGN



2

Window Sign: Definition		Size	
<p>A sign that is painted on, attached to, or suspended directly behind a window, the glass portion of a door, or a space providing visual access to the interior of a building (ie, open garage bays).</p>		<p>Sign Area (B x C): Per Window</p>	<p>Permanent Signage, A 50% max. Temporary Signage, 25% max.</p>
		Miscellaneous	
		<p>Applied plastic or vinyl cut letters are discouraged.</p>	
Allowable in the following zones			
All Zones			

3

4

1 **17.446.110 Sign Maintenance**

2 All signs must be maintained in a condition as originally permitted. Maintenance shall include
3 landscaping, electrical, material blemishes, structural deficiencies, or other sign conditions
4 changing the visual quality of the sign through neglect. Failure to maintain a sign may result in
5 penalties and permit revocation. Violation procedures and penalty fee schedules shall be
6 according to applicable Kitsap County Code.

7 **17.446.120 Non-conforming Signs**

8 Notwithstanding KCC Chapter 17.530 Enforcement, the continued existence of lawfully
9 established and permitted non-conforming signs shall be subject to the following:

- 10 1) No sign previously erected in violation of any code provision, including without securing
11 proper permit approval, shall be considered a legal non-conforming sign.
- 12 2) Legal non-conforming signs are subject to the sign maintenance requirements of this chapter.
- 13 1) A legal non-conforming sign must fully conform to current sign code regulations if structural
14 alterations will occur. For purposes of this subsection, normal maintenance, repair, or content change
15 shall not be considered a structural alteration. Installation of an electronic sign into an existing sign
16 shall be considered a structural alteration for the purposes of this chapter.
- 17 3) Any legal nonconforming sign which a) does not promote a commercial product or event and
18 the content of the sign pertains to a time, event or purpose which has elapsed or expired in
19 the preceding 365 days; or b) is discontinued for a period of 365 consecutive days, without
20 written notice to the Kitsap County Department of Community Development of intent to
21 continue use, shall be deemed abandoned and shall not, thereafter, be reestablished, except in
22 full conformance with this chapter.
- 23 4) Any legal non-conforming sign damaged or destroyed to the extent that 75% of the sign must
24 be repaired may not be restored, and any further signage must conform to this chapter.
- 25 5) Government actions, strikes, material shortages, natural disasters, acts of God, and all natural
26 phenomena whose effects could not be prevented by the exercise of reasonable care and
27 foresight, may not be considered in calculating the length of discontinuance, damage, or
28 destruction for purposes of this section. A report from an official investigative organization
29 with the damage or destruction determination, including but not exclusive to insurance and/or
30 police reports, must be provided in order to restore a sign to its most recent non-compliant
31 state of existence.
- 32
33

1 **17.446.130 Contractor License**

2 In accordance with Table 1b. Required Contractor License by Sign Type, a permanent sign shall
 3 not be erected, altered, relocated, constructed, or maintained by any person who does not hold a
 4 valid contractor's license. All electric signs shall be constructed according to the technical
 5 standards of a certified testing laboratory.
 6

Table 1b. Required Contractor License by Sign Type	
Sign Type	Contractor License Required
Arm	No
Awning	Yes
Blade	No
Canopy	Yes
Monument	Yes
Pole	Yes
Roof	Yes
Wall	No
Wall Mural	No
Window	No

7 **17.446.140 Variances**

8 Notwithstanding Section 17.500 Variances, a variance will be granted as a Type II decision,
 9 Notwithstanding KCC Section 21.04.210(C)(1)(c), requests for sign variances outside a UGA
 10 shall require notification to owners of property within 1000 feet of the subject of the variance.

11 Variances may be granted only when all of the following conditions and facts exist:

- 12 1) There are special circumstances applicable to the subject property, including size, shape,
 13 topography, location or surroundings; that were not created by the applicant and do not apply
 14 generally to other property in the same vicinity or zone.
- 15 2) Such variance is necessary for the preservation and enjoyment of a substantial property right
 16 or use of the applicant possessed by the owners of other properties in the same vicinity or
 17 zone.
- 18 3) No other feasible signage alternative exists.
- 19 4) The authorization of such variance will not be materially detrimental to the public welfare or
 20 injurious to property in the vicinity or zone in which property is located.
- 21 5) Variance does not allow for deviations from design requirements herein.
- 22 6) The variance is the minimum necessary to grant relief to the applicant.

23 The County may impose conditions on the variance, as necessary, to further the purpose of the
 24 sign code and other applicable county codes or ordinances.
 25

1 **17.446.150 Violations**

2 Notwithstanding Section 17.530 Enforcement, any unapproved signs that are placed in violation
3 of this ordinance on public property, including County right of way, or that interfere with
4 vehicular or pedestrian traffic will be subject to removal by County staff or their agents, marked
5 and placed in a retrieval yard for the first offense, or disposed of if the first offense mark was
6 applied in a prior incident. Repeat violators may be charged for sign removal.

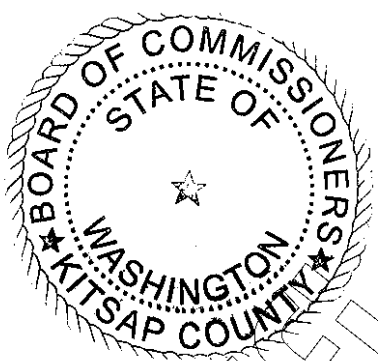
7
8 **Section 3. Severability.** If any provision of this ordinance or its application to any person or
9 circumstance is held invalid or unconstitutional, the remainder of the ordinance or its application
10 to other persons or circumstances shall not be affected.

11 **Section 4. Recitals.** The recitals herein shall be findings of fact and are incorporated herein by
12 reference.

13 **Section 5. Effective Date.** This Ordinance shall take effect 11-10-14

14 ADOPTED this 11th day of November, 2014.

15 **BOARD OF COUNTY COMMISSIONERS**
16 **KITSAP COUNTY, WASHINGTON**



17
18 *Charlotte Garrido*
19
20 **CHARLOTTE GARRIDO, Chair**

21
22 *Robert Gelder*
23
24 **ROBERT GELDER, Commissioner**

25
26 *Linda Streissguth*
27
28 **LINDA STREISSGUTH, Commissioner**

29
30 ATTEST:
31 *Dana Daniels*
32
33 Dana Daniels, Clerk of the Board

34
35 APPROVED AS TO FORM:
36 *Shelley E Kreip*
37 Deputy Prosecuting Attorney

RECORD OF FINAL MOTIONS APPROVED

SECTION	CHANGES TO THE FINAL DRAFT ORDINANCE TEXT	MOTION	Vote By District		
			1	2	3
Main Motion	See Below.	Motion to adopt the Ordinance amending Kitsap County Code Concerning Signs as Published for the November 10, 2014 Hearing. Discussion on the proposed amendments was then held on the revisions set forth below. The votes on the individual amendments are shown in the matrix below. A final vote on the main motion, as amended, was approved by all three Kitsap County Commissioners.	Yes	Yes	Yes
	<p>WHEREAS, the state Growth Management Act (GMA), Chapter 36.70A RCW, requires that Kitsap County adopt development regulations that are consistent with and implement the comprehensive plan; and WHEREAS, the Kitsap County Board of Commissioners (Board) finds that the requirement of a sign permit or registration for most signs provides assurance of the safe design, placement, and construction of signs in unincorporated Kitsap County. The Board further finds that the sign regulations are consistent with GMA and the County's comprehensive land use plan.</p> <p><u>Whereas, the Board desires a heightened oversight of implementation of this code during the interim development of the 2016 Comprehensive Plan update, staff is directed to provide a review at six months or as comprehensive plan draft goals and policies are developed.</u></p>	<p>Move to amend the final draft ordinance by removing the strikethrough and highlighted language.</p> <p>And</p> <p>Move to amend the final draft ordinance by adding the underlined and highlighted language.</p>	Yes	Yes	Yes
17.446.010 Purpose	<p>AMENDED LANGUAGE: ... Kitsap County residents. <u>The sign code shall be updated periodically as necessary to maintain consistency with the Kitsap County Comprehensive Plan and respective Sub-Area Plans.</u> Signs are necessary ...</p>	Move to amend section 17.446.010 by adding the underlined and highlighted language.	Yes	Yes	Yes
17.446.020 Definitions	<p>AMENDED LANGUAGE: <u>Public Safety Sign: A sign that is necessary to reduce or eliminate the risk of imminent personal or property damage.</u></p> <p><u>Structural Alteration: Modification of a sign, sign structure or awning that affects size, shape, height, or sign location; changes in structural materials; or replacement of electrical components with other than comparable materials. The replacement of wood parts with metal parts, the replacement of incandescent bulbs with light emitting diodes (LED), or the addition of electronic elements to an non-electrified sign would</u></p>	Move to amend section 17.446.020 by adding the underlined and highlighted language.	Yes	Yes	Yes

SECTION	CHANGES TO THE FINAL DRAFT ORDINANCE TEXT	MOTION	Vote By District		
			1	2	3
	<u>all be structural alterations. Structural alteration does not include ordinary maintenance or repair, repainting an existing sign surface, including changes of message or image, exchanging painted and pasted or glued materials on painted wall signs, or exchanging display panels of a sign through release and closing of clips or other brackets.</u>				
17.446.040 Prohibited Signs	AMENDED LANGUAGE: 1) Electronic signs outside Urban Growth Areas <u>except traffic control signs and public safety signs as identified in section 17.446.080 Regulations for Electronic Signs.</u>	Move to amend section 17.446.040 by adding the underlined and highlighted language.	Yes	Yes	Yes
17.446.060 Conditionally Exempt Signs	AMENDED LANGUAGE: A temporary sign shall be conditionally exempt from this sign code and may be constructed, without permits, if consistent with the size, height, duration, maximum number limitations, and other criteria listed below. Unless expressly stated, conditionally exempt signs are not allowed to be lighted, conflict with or impede views of permanent signs or signals, or be located in Kitsap County right-of-way or publically-owned property pursuant to prohibited sign section 17.446.040. <u>In order to qualify as conditionally exempt, a sign shall register via the on-line sign exemption form at: http://permits.kitsapgov.com/Public/Home</u>	Move to amend section 17.446.060 by removing the strikethrough and highlighted language.	Yes	Yes	Yes
	AMENDED LANGUAGE: 2) <u>Special event A-Frame, banner, double post, inflatable, or wall sign:</u> a) All special event signs shall be placed no more than 14 days prior to the event occurrence, and removed five days after the event has occurred. <u>Registration for a period of time is allowed for multiple events of the same type (e.g., Farmers market every Saturday between March 1 and August 31).</u>	Move to amend section 17.446.060 (2) by removing the strikethrough and highlighted language.	Yes	Yes	Yes
	AMENDED LANGUAGE: 6) <u>Political sign:</u> a) iii) <u>Shall be removed 10 days after an election. After primary elections, political campaign signs endorsing or opposing a successful candidate or ballot measure may remain up to ten days after the succeeding general election.</u> b) ii) <u>Political campaign signs on private property must be removed within 10 days after an election. After primary elections, political campaign signs endorsing or opposing a successful candidate or ballot measure may remain up to 10 days after the succeeding general election.</u>	Move to amend section 17.446.060 (6) by adding the underlined and highlighted language.	Yes	Yes	Yes
	AMENDED LANGUAGE: 13) <u>Real Estate Signage Program:</u> a) <u>All real estate signs must have the agent's real estate broker name and phone number on any and all types of real estate signs. The name and phone number is not required to be visible to the public. All real estate signs shall be removed within five ten days of the date of sale closing.</u> b) <u>For a single-family residential property, one unlighted on-site arm sign is allowed per street frontage in addition to directional signs located on easement(s) leading to the property for sale and one attached</u>	Move to amend section 17.446.060 (13) by removing the strikethrough and highlighted language. And Move to amend section 17.446.060 (13) by adding the	Yes	Yes	Yes

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17.446.060 Conditionally Exempt Signs	<p>special event banner sign located on the subject property. and easement leading to the property for sale.</p> <p>c) On-site development "for sale" shall be limited to one sign per development entrance. The sign shall not exceed 32 square feet in area, and shall not exceed eight feet in height. A sign permit is required and shall be issued for a one <u>three</u> year period. The permit is renewable annually for up to a maximum of three <u>five</u> years.</p> <p>f) Off-premise signs advertising subdivisions placed by real estate companies shall require a one <u>three</u> year <u>sign</u> permit. The permit may be renewed annually for up to three <u>five</u> years provided that no sign maintenance violations occur in the previous year. The sign shall be no more than 12 square feet and directional only. A letter of consent from the property owner shall be required as part of sign permit approval.</p>	underlined and highlighted language.											
17.446.070 Regulations for Permanent Signs	<p>AMENDED LANGUAGE:</p> <table border="1"> <tr> <td>W:</td> <td>Width is measured from the walls of the structure.</td> </tr> <tr> <td>H:</td> <td>Height is measured from the finished grade to the highest point of the building's vertical wall.</td> </tr> <tr> <td>A:</td> <td>Attached sign area is measured pursuant to Measurement Calculation Methods 17.446.070(9)(b).</td> </tr> <tr> <td>ASA:</td> <td>Allowable Attached Sign Total Area for this example is 2 square feet per lineal foot of frontage, see wall sign detail sheet to determine exact square footage allowed. If the area allowed from the initial calculation is less than 10 percent of the wall area building area facade, the sign area may be increased to reach 10 percent of the wall area building area facade.</td> </tr> </table> <p>Store Name 1 ASA1: $(A1a + A1b) = 2 * (W1a + W1b)$ or 10 percent of the wall area building area facade = $0.10 * (W1a * H1a) + (W1b * H1b)$</p> <p>Store Name 2 ASA2: $(A2) = 2 * (W2)$ or 10 percent of the wall area building area facade = $0.10 * (W2 * H2)$</p> <p>Store Name 3 ASA3: $(A3) = 2 * (W3)$ or 10 percent of the wall area building area facade = $0.10 * (W3 * H3)$</p> <p>Store Name 4: A large storefront with multiple businesses within it, such as a grocery store with an associated drug store and coffee store all located and operating in the same building space. ASA4: $(A4) = 2 * (W1a + W1b + W2 + W3)$ or 10 percent of the wall area building area facade = $0.10 * [(W1a * H1a) + (W1b * H1b) + (W2 * H2) + (W3 * H3)]$</p> <p>Figure 1b: Attached Sign Total Area Example</p>	W:	Width is measured from the walls of the structure.	H:	Height is measured from the finished grade to the highest point of the building's vertical wall.	A:	Attached sign area is measured pursuant to Measurement Calculation Methods 17.446.070(9)(b).	ASA:	Allowable Attached Sign Total Area for this example is 2 square feet per lineal foot of frontage, see wall sign detail sheet to determine exact square footage allowed. If the area allowed from the initial calculation is less than 10 percent of the wall area building area facade , the sign area may be increased to reach 10 percent of the wall area building area facade .	<p>Move to amend section 17.446.070 by removing the strikethrough and highlighted language.</p> <p>And</p> <p>Move to amend section 17.446.070 by adding the underlined and highlighted language.</p>	Yes	Yes	Yes
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17.446.080 Regulations for Electronic Signs	<p>AMENDED LANGUAGE: Electronic signs are allowed in all commercial or industrial zones within an Urban Growth Area (UGA). Schools, churches, or governments may have an electronic sign in any zone within an UGA. Traffic control signs or public safety signs may have an electronic sign in any zone inside or outside of an UGA. <u>are prohibited outside Urban Growth Areas (UGA) and in all residential zones, except when authorized for schools, churches, public safety agencies, or governmental or quasi-governmental agencies within a UGA. An electronic display shall not exceed 50% of the sign size. An electronic sign is not allowed to be part of or in its entirety a conditionally exempt sign.</u> Notwithstanding Section 17.446.070 (5) Illumination requirements, the following illumination requirements shall apply:</p>	<p>Move to amend section 17.446.080 by removing the strikethrough and highlighted language.</p> <p>And</p> <p>Move to amend section 17.446.080 by adding the underlined and highlighted language.</p>	Yes	NO	Yes								

SECTION	CHANGES TO THE FINAL DRAFT ORDINANCE TEXT	MOTION	Vote By District		
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17.446.080 Regulations for Electronic Signs	<p>AMENDED LANGUAGE:</p> <p>1) Hold Time: The digital message or static image shall remain on the display for a minimum of <u>three eight</u> seconds. <u>No more than three messages shall be displayed within a one minute timeframe.</u></p>	<p>Move to amend section 17.446.080 (1) by removing the strikethrough and highlighted language.</p> <p>And</p> <p>Move to amend section 17.446.080 (1) by adding the underlined and highlighted language.</p>	Yes		Yes
17.446.090 Master Sign District	<p>AMENDED LANGUAGE:</p> <p>2) An organization may place one on-site freestanding sign per street frontage in addition to attached signage. One additional freestanding monument sign is permitted for each additional 150 feet of street frontage over 100 feet of street frontage. The plan shall meet the following criteria:</p> <p>a) No one business may comprise more than 50 square feet of each sign face.</p> <p>b) No additional monument signs may be allowed within the master sign plan regardless of additional existing or proposed accesses.</p> <p>(3) (2) An application for master sign plan must include the following submittals:</p> <p>e) A master sign plan must be approved through a Type III-II review process (ACUP) consistent with the requirements of Title 21 of this code. All signage approved through a previous performance based development, conditional use permit, variance or other approval that allowed greater sign quantities, square footage or configurations than allowed by this chapter must be amended to conform to the current Sign Code regulations. Revisions to previously approved master sign plans shall be treated as a Type III-II review process (ACUP).</p> <p>2) <u>For parcels under 20 acres in size:</u></p> <p>a) <u>An organization may place one on-site freestanding sign per street frontage in addition to attached signage. One additional freestanding sign is permitted for each additional 150 feet of street frontage over 100 feet of street frontage. The plan shall meet the following criteria:</u></p> <p>i) <u>Signs must conform to the permitted sizes in section 17.446.100 Detail Sheets.</u></p> <p>ii) <u>No one business may comprise more than 50 square feet of each sign face.</u></p> <p>3) <u>For individual or contiguous parcels which are 20 acres or greater in size the following limitations shall apply:</u></p> <p>a) <u>An organization may place one on-site freestanding sign per street frontage in addition to attached signage. One additional freestanding sign is permitted for each additional 150 feet of street frontage over 100 feet of street frontage. Freestanding signs inside the development shall not be counted against the number of freestanding</u></p>	<p>Move to amend section 17.446.090 by removing the strikethrough and highlighted language.</p> <p>And</p> <p>Move to amend section 17.446.090 by adding the underlined and highlighted language.</p>	Yes	Yes	Yes

SECTION	CHANGES TO THE FINAL DRAFT ORDINANCE TEXT	MOTION	Vote By District																				
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	<p>signs allowed. The plan shall meet the following criteria:</p> <p>i) <u>Each sign may not exceed 200 square feet per face and may not have more than two faces.</u></p> <p>ii) <u>No one business may comprise more than 50 square feet of each sign face.</u></p> <p>iii) <u>A monument sign shall not be limited by the minimum or maximum height requirements of Section 17.446.100 Detail Sheets but shall not exceed twenty-five feet in height.</u></p> <p>b) <u>Attached signage shall meet the following criteria:</u></p> <p>i) <u>Signs must conform to the permitted sizes in section 17.446.100 Detail Sheets, except two blade signs internal to the development shall be allowed per organization, not to exceed 25 square feet per face.</u></p>																						
17.446.100 Sign Detail Sheet: Monument Sign	<p>AMENDED LANGUAGE:</p> <table border="1"> <tr> <td>Monument Sign: Definition A free-standing sign, generally having a low monolithic profile where the base of the sign structure is on the ground or a maximum of twelve (12) inches above the lowest point of the ground adjacent to the sign such that the sign has the appearance of a solid base.</td> <td>Application Typically used in entrances for single or multiple commercial or industrial tenants.</td> </tr> <tr> <td colspan="2">Allowed in the following zones</td> </tr> <tr> <td colspan="2">All zones</td> </tr> </table> <table border="1"> <tr> <td colspan="2">Allowed Size By Zone</td> </tr> <tr> <td>Zones:</td> <td>BC, BP, I, RI, HTC, RC, MU, RCO, REC, TTEC, Any zone within a Type III LAMIRD</td> </tr> <tr> <td>Width:</td> <td>15 ft. max.</td> </tr> <tr> <td>Height:</td> <td>12 ft. max.</td> </tr> <tr> <td>Sign Area</td> <td>Per face 100 sf. max.</td> </tr> <tr> <td>(B x C):</td> <td>10 ft. max. 8 ft. max. Per face 50 sf. max.</td> </tr> </table>	Monument Sign: Definition A free-standing sign, generally having a low monolithic profile where the base of the sign structure is on the ground or a maximum of twelve (12) inches above the lowest point of the ground adjacent to the sign such that the sign has the appearance of a solid base.	Application Typically used in entrances for single or multiple commercial or industrial tenants.	Allowed in the following zones		All zones		Allowed Size By Zone		Zones:	BC, BP, I, RI, HTC, RC, MU, RCO, REC, TTEC, Any zone within a Type III LAMIRD	Width:	15 ft. max.	Height:	12 ft. max.	Sign Area	Per face 100 sf. max.	(B x C):	10 ft. max. 8 ft. max. Per face 50 sf. max.	<p>Move to amend section 17.446.100 Monument Sign by removing the strikethrough and highlighted language.</p> <p>And</p> <p>Move to amend section 17.446.100 Monument Sign by adding the underlined and highlighted language.</p>	Yes	Yes	Yes
Monument Sign: Definition A free-standing sign, generally having a low monolithic profile where the base of the sign structure is on the ground or a maximum of twelve (12) inches above the lowest point of the ground adjacent to the sign such that the sign has the appearance of a solid base.	Application Typically used in entrances for single or multiple commercial or industrial tenants.																						
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17.446.100 Sign Detail Sheet: Wall Sign	<p>AMENDED LANGUAGE:</p> <table border="1"> <tr> <td>Wall Sign: Definition A building-mounted or wall-mounted sign which is either attached to, displayed, or painted on an exterior wall in a manner parallel with the wall surface, and not projecting more than 12 inches from such surface. A sign located on a freestanding wall or retaining wall not incorporated into a building's structure shall be considered a freestanding sign.</td> <td>Miscellaneous The copy area of a wall sign shall not extend into architectural features such as windows, eaves, cornices, and rooflines.</td> </tr> <tr> <td colspan="2">Allowed Size By Zone</td> </tr> <tr> <td>Zones:</td> <td>BC, BP, I, RI, HTC, RC, MU, RCO, REC, TTEC, Any zone within a Type III LAMIRD</td> </tr> <tr> <td>Sign Area: (B x C) x D</td> <td>3 square feet for each linear foot of storefront or wall facade, 200 sf. max. If the area allowed from the initial calculation is less than 10 percent of the wall area, the sign area may be increased not to exceed 10 percent of the wall area.</td> </tr> <tr> <td>Width:</td> <td>75% storefront or wall width, max.</td> </tr> <tr> <td>Height:</td> <td>8 ft. max.</td> </tr> <tr> <td>Graphic or Logo:</td> <td>A sign with only a graphic or logo is subject to the maximum sizes defined by A, B, and C of the wall sign type.</td> </tr> <tr> <td>Projection from Facade:</td> <td>12 in. max.</td> </tr> </table>	Wall Sign: Definition A building-mounted or wall-mounted sign which is either attached to, displayed, or painted on an exterior wall in a manner parallel with the wall surface, and not projecting more than 12 inches from such surface. A sign located on a freestanding wall or retaining wall not incorporated into a building's structure shall be considered a freestanding sign.	Miscellaneous The copy area of a wall sign shall not extend into architectural features such as windows, eaves, cornices, and rooflines.	Allowed Size By Zone		Zones:	BC, BP, I, RI, HTC, RC, MU, RCO, REC, TTEC, Any zone within a Type III LAMIRD	Sign Area: (B x C) x D	3 square feet for each linear foot of storefront or wall facade, 200 sf. max. If the area allowed from the initial calculation is less than 10 percent of the wall area, the sign area may be increased not to exceed 10 percent of the wall area.	Width:	75% storefront or wall width, max.	Height:	8 ft. max.	Graphic or Logo:	A sign with only a graphic or logo is subject to the maximum sizes defined by A, B, and C of the wall sign type.	Projection from Facade:	12 in. max.	<p>Move to amend section 17.446.100 Wall Sign by adding the underlined and highlighted language.</p>	Yes	Yes	Yes		
Wall Sign: Definition A building-mounted or wall-mounted sign which is either attached to, displayed, or painted on an exterior wall in a manner parallel with the wall surface, and not projecting more than 12 inches from such surface. A sign located on a freestanding wall or retaining wall not incorporated into a building's structure shall be considered a freestanding sign.	Miscellaneous The copy area of a wall sign shall not extend into architectural features such as windows, eaves, cornices, and rooflines.																						
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Projection from Facade:	12 in. max.																						
17.446.120 Non-conforming Signs	<p>AMENDED LANGUAGE:</p> <p>3) A legal non-conforming sign <u>must fully conform to current sign code regulations if structural alterations will occur. may be structurally altered if the degree of non-conformance is decreased by 25% or greater relative to its original non-conforming state.</u> For purposes ... structural alteration. <u>Installation of an electronic sign into an existing sign shall be considered a structural alteration for the purposes of this chapter.</u></p> <p>7) Amortization. All legal nonconforming signs shall be discontinued</p>	<p>Move to amend section 17.446.120 by removing the strikethrough and highlighted language.</p> <p>And</p>	Yes	Yes	Yes																		

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	<p>and removed or made conforming on or before ten years from the initial adoption of this section, i.e., _____, 2015. If subsequent amendments to this section render a sign legally nonconforming, the sign shall be discontinued and removed or made conforming within ten years after the effective date of such amendment (collectively the "amortization period"). Upon the expiration of the amortization period, the sign shall be brought into conformance with this section, including obtaining a permit, or be removed. Failure to remove a nonconforming sign by the timeline established above shall result in enforcement action being taken pursuant to Kitsap County Code. Any legal nonconforming sign that does not meet the requirements of this section shall immediately lose its legal nonconforming designation.</p>	<p>Move to amend section 17.446.120 by adding the underlined and highlighted language.</p>			

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