

Ordinance No. 518 - 2014

ORDINANCE AMENDING PORTIONS OF THE SILVERDALE DESIGN STANDARDS AND KITSAP COUNTY CODE TITLE 17 RELATING TO THE CENTRAL KITSAP COMMUNITY CAMPUS

BE IT ORDAINED:

Section 1 General Findings. The Kitsap County Board of Commissioners makes the following findings:

1. The Central Kitsap Community Campus (Campus) consists of publicly-owned property located in the heart of Silverdale. The Campus is approximately twelve (12) acres in size.
2. Since the 1990s, various citizen groups, through planning efforts, have been discussing the vision for the Central Kitsap Community Campus. Since this time, Kitsap County, along with the local Housing Authority, began acquiring properties for the Campus to what now is a 12 acre site.
3. On May 7, 1998, the Board of County Commissioners (Commissioners) adopted the 1998 Kitsap County Comprehensive Plan. Adoption of the 1998 plan satisfied the requirements set forth in the Growth Management Act (GMA). The Comprehensive Plan has been subsequently amended during through 2012.
4. On December 11, 2006, the Commissioners adopted the Silverdale Sub-Area Plan which provides specific policy guidance for the Silverdale Urban Growth Area (UGA). The Campus is located within the heart of the Silverdale UGA.
5. In December 2007 the County completed public outreach efforts, including not limited to, open houses and ad-hoc advisory committee meetings, to determine priority uses and a conceptual site plan of the Campus properties. This conceptual site plan included possible locations of priority uses on the Campus and, at that time, an estimate of building square footage needs.
6. In December 2007, Kitsap County adopted the Silverdale Design Standards as part of the development code for certain areas within the Silverdale UGA. The Campus was included as a section in the Bucklin Hill Town Center design standards.
7. On June 1, 2011, the Haselwood Family YMCA held its grand opening of a +85,000 square feet facility that is located on the Campus.
8. From 2010 to 2011, Kitsap County staff met with an ad hoc Campus Design Committee, which consisted of developers, Central Kitsap Community Council representatives, existing and future Campus tenants and other interested parties to discuss the design standards and development regulations for the Campus.

9. On September 19, 2011, Kitsap County released draft amendments to the design standards and development regulations relating to the Central Kitsap Community Campus. Proper noticing and a State Environmental Policy Act (SEPA) Determination of Non-Significance and Notice of Adoption of Existing Environmental Documents were issued on October 7, 2011.

10. In September 2011, following timely and effective public notice, the Kitsap County Planning Commission held work-study sessions and a public hearing to review and consider testimony on the proposed amendments. The Planning Commission provided a recommendation to the Board of County Commissioners on November 1, 2011.

11. Following the Planning Commission recommendation, the approval process for the proposed amendments was postponed to allow Kitsap County to 1) long-term debt options as part of the acquisition of the Poplars Property from Housing Kitsap; and 2) obtain the results of a pending incorporation vote for portions of the Silverdale UGA, which included the Campus.

12. By the end of 2013, factors that put the adoption process on hold were resolved. As a result, in the spring of 2014, Kitsap County reconvened an ad hoc Campus Design Committee and used the original 2011 draft as a foundation for its review and editing process.

13. Over the course of three months, the ad-hoc committee proposed changes to the original draft, which were incorporated to the Draft Design Guidelines and Title 17 use tables amendments dated May 27, 2014.

14. On June 2, 2014, Kitsap County resubmitted a 60-day notice of intent to adopt additional design guidelines and code amendments to the Washington State Department of Commerce ("Commerce") pursuant to RCW 36.70A.106. This comment period closed on July 28, 2014 and no comments were received from Commerce.

15. On June 13, 2014, Kitsap County reissued a State Environmental Policy Act (SEPA) Determination of Non-Significance (DNS) for the proposed design standards and development regulations. The SEPA comment and appeal period closed on June 27, 2014. No comments or appeals were received.

16. On July 15, 2014, the Planning Commission held a work-study session on the proposed draft amendments.

17. On July 25, 2014, Kitsap County reissued a staff report on the proposed amendments consistent with the schedule identified in Kitsap County Code Title 21, Type IV Legislative Procedures.

18. On August 5, 2014, after proper public notice, the Planning Commission held a public hearing on the proposed amendments, and received testimony from two individuals.

19. On August 19, 2014, at its regular meeting, the Planning Commission deliberated and recommended the draft as presented for approval.

20. On October 15, 2014, the Kitsap County Board of Commissioners held a work-study session to review the proposed amendments and the Planning Commission recommendation.

21. On November 10, 2014, following proper public notice, the Board of Commissioners held a public hearing to consider testimony on the proposed amendments. The written comment period was extended to November 17, 2014.

22. On November 24, 2014, following proper public notice, the Board of Commissioners held a public hearing on the proposed ordinance, deliberated and approved amendments to the Silverdale Design Standards and Kitsap County Code Title 17 relating to the Central Kitsap Community Campus.

23. The proposed amendments are consistent with the Washington State Growth Management Act (GMA), State Environmental Policy Act (SEPA), and Kitsap Countywide Planning Policies.

24. The proposed amendments are consistent with the goals and policies contained within the Kitsap County Comprehensive Plan and Silverdale Sub-Area Plan.

25. The County conducted a full, multi-year public participation process on the proposed amendments.

26. The proposed amendments establish predictability for future development while providing appropriate flexibility as projects evolve from the programmatic level of detail to project-specific.

Section 2. Silverdale Design Standards-Central Kitsap Community Campus Design Guidelines. To promote the public interest and welfare of Kitsap County's citizens, in accordance with the GMA, and based upon the above findings, the Kitsap County Board of Commissioners hereby adopts amendments to the Silverdale Design Standards, specifically relating to the Central Kitsap Community Campus Design Guidelines, Chapter 4-Bucklin Hill Town Center, hereto as Attachment A and B.

Section 3. Kitsap County Code Section 17.381.050 Kitsap County Code Sections 17.381.040(B), last amended by Ordinance 511-2013, is hereby amended as set forth in Attachment C, attached hereto and incorporated herein by this reference.

Section 4. Kitsap County Code Section 17.381.040(B) Kitsap County Code Sections 17.381.040(B), last amended by Ordinance 511-2013, is hereby amended as set forth in Attachment C, attached hereto and incorporated herein by this reference.

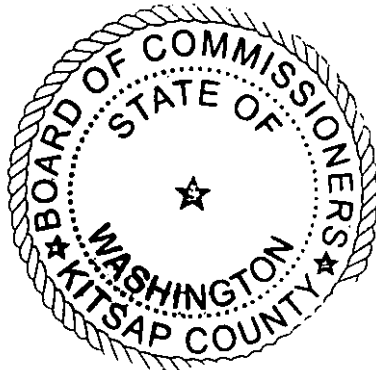
Section 5. Scrivener Errors. Should any amendment that was passed by the Board during its deliberations on November 24, 2014 be inadvertently omitted upon publication, the explicit action of the Board as discussed and passed shall prevail upon subsequent review and verification by the Board.

Section 6. Effective Date. This ordinance is effective immediately upon adoption.

Section 7. Severability. If any provision of this ordinance, or its application to any person, entity or circumstance is for any reason held invalid, the remainder of the ordinance, or the application of the provision to other persons, entities or circumstances, is not affected.

DATED this 24th day of November 2014.

ATTEST:



BOARD OF COUNTY COMMISSIONERS
KITSAP COUNTY, WASHINGTON

Charlotte Garrido

CHARLOTTE GARRIDO, Chair

Robert Gelder

ROBERT GELDER, Commissioner

Linda Streissguth

LINDA STREISSGUTH, Commissioner

Dana Daniels

Dana Daniels
Clerk of the Board

Approved as to form:

Shelley E. Krup

Deputy Prosecuting Attorney

APPENDIX A TO CHAPTER 4 BUCKLIN HILL CENTER DISTRICT

CENTRAL KITSAP COMMUNITY CAMPUS Design Guidelines

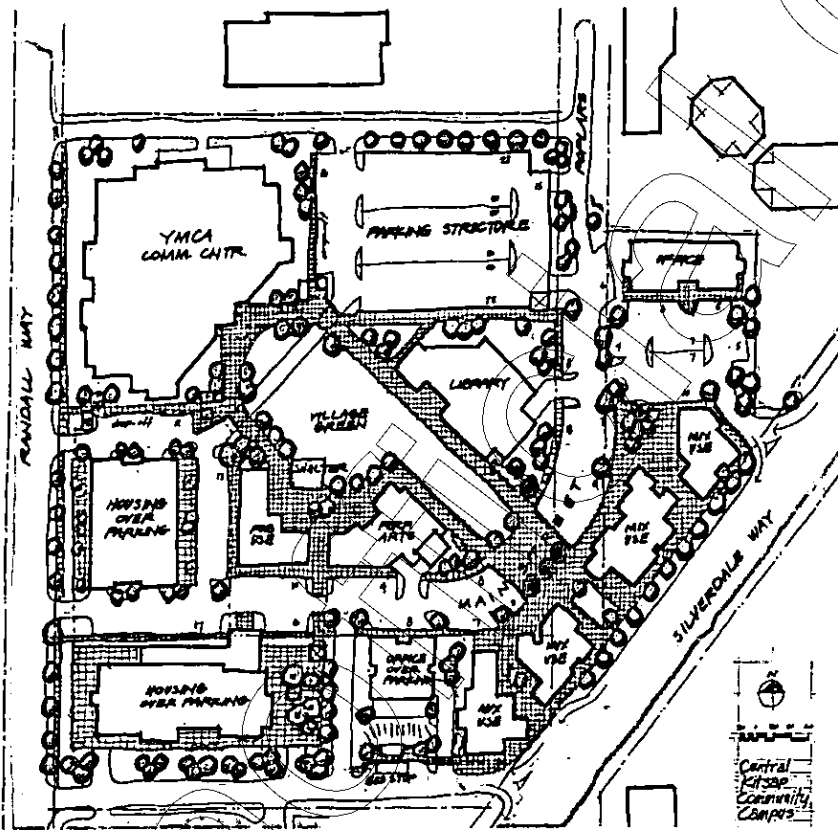


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ACKNOWLEDGEMENTS

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CENTRAL KITSAP COMMUNITY COUNCIL

And to all the citizens who have volunteered countless hours over many years.....

The purpose of this document is to guide development and infill on the Central Kitsap Community Campus. These design guidelines shall be used in addition to other development regulations. Project design assessment will be conducted at the time of land use review and subject to the procedures outlined in Kitsap County Code Title 21 (Land Use Development Procedures).

SECTION 1.0 INTRODUCTION

The Central Kitsap Community Campus is located on 12 acres or 522,720 square feet within the Silverdale Urban Growth Area's commercial core. The Campus is bordered by Silverdale Way to the southeast, Randall Way to the west and commercial uses to the north, northeast and south. Parcels located within the Campus boundary are currently owned by Kitsap County.

As shown in Figure 1, the Campus is located within the Silverdale Design Standards Bucklin Hill Town Center District. However, the Campus design standards are being treated separately from the Bucklin Hill Town Center District due to its important community role as a central public gathering place for civic, cultural and recreational activities.

In Figure 2, existing land uses include a community center with public meeting spaces and kitchen, as well as a 174 seat community performing arts theater, the Haselwood Family YMCA facility and law enforcement offices. A thirty-six unit multi-family and commercial building is also located within the Campus, known as a Poplars property. These units are actively leased out by the County to reduce the long-term debt associated with the parcel.

Topography of the site generally ranges from a 2% and 10% grade and slopes southeast towards Silverdale Way and Dyes Inlet. Six public rights-of-way provide access and primary transportation facilities to the Campus. These roadways include:

- Silverdale Way (*Urban Principal Arterial*)
- Randall Way (*Urban Minor Arterial*)
- Poplars Avenue (*The segment extending from Silverdale Way towards Kitsap Mall Boulevard is defined as an Urban Local Access Road, while the roadway segment from Silverdale Way to Randall Way is defined as a private access road.*)
- Plaza Road (*Urban Local Access*)

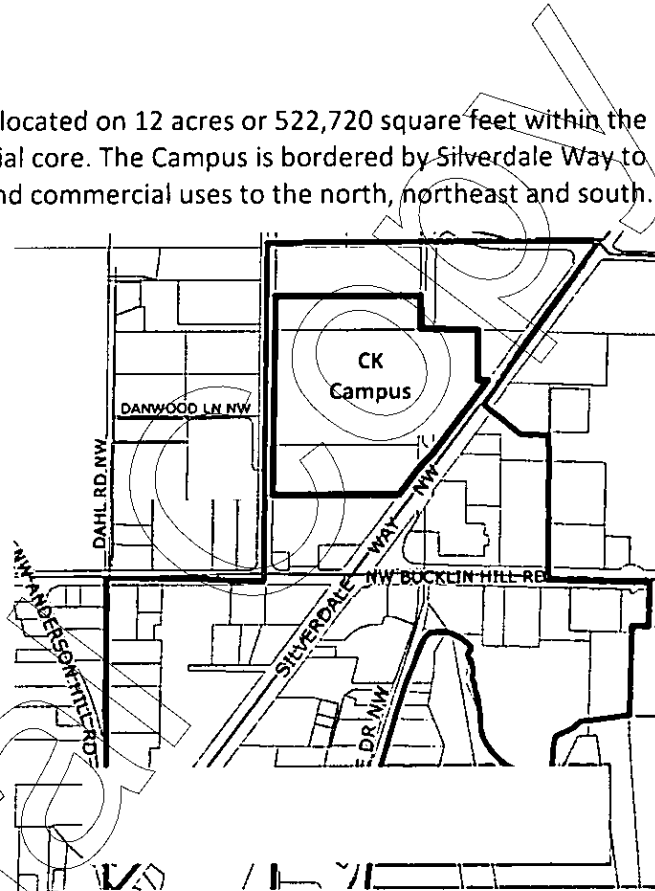


FIGURE 1
BUCKLIN HILL TOWN CENTER AND CK CAMPUS

- Bucklin Hill Road (*Urban Principal Arterial*)
- Anderson Hill Road (*Urban Minor Arterial*)

Urban facilities, such as stormwater, sidewalks, wastewater, water, and purple pipe (water reuse) are located on the site and illustrated in Figure 3. Kitsap Transit provides limited bus service to the Campus along Randall Way (Bus Routes # 34 and 33).

1.1 Phased development

In June 2011, the YMCA of Pierce-Kitsap Counties opened a 85,785 square feet Hazelwood Family YMCA facility on the Campus. This multi-purpose recreational facility is considered an anchor tenant for the site. The construction of this recreational facility is Phase One of the overall Campus redevelopment strategy. With funding and construction of a parking structure(s) a necessity for future infill, growth is expected to take place in multiple phases over 20-30 years.

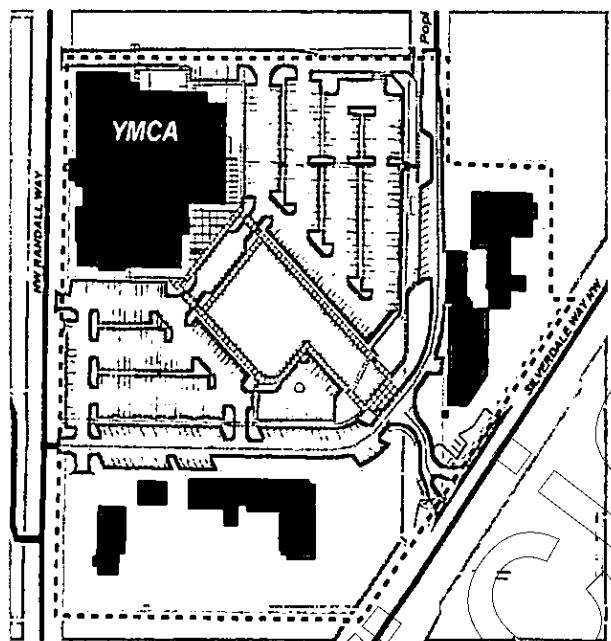


FIGURE 2
EXISTING BUILDING FOOTPRINTS

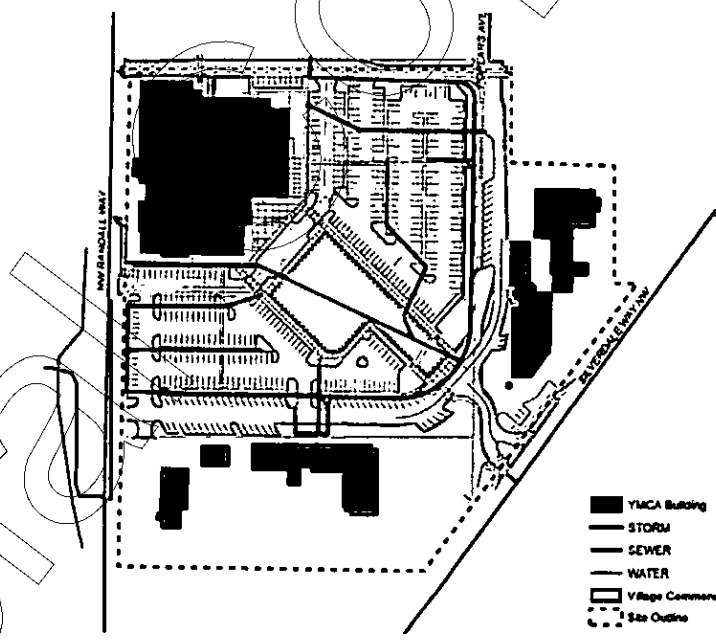


FIGURE 3
EXISTING INFRASTRUCTURE

1.2 Priority uses and partnerships

Through multiple public outreach efforts spanning more than 20-years, the Campus is planned to be a civic, recreational and cultural gathering place for community residents of all ages—day and night. These planning efforts have narrowed down priority uses on the Campus and include:

- Library
- Government offices
- Community center with public meeting space and kitchen access
- Public open space

- Senior housing
- Performing arts center
- Recreational facilities
- Public uses and offices

Any general office and retail/commercial uses located on the Campus are intended to be secondary and supportive services to the priority uses noted above. Collaborative partnerships, whether public or private, are strongly encouraged to ensure priority uses are located on the Campus. These partnerships are intended to promote efficiency of limited funding sources and make maximum use of available land.

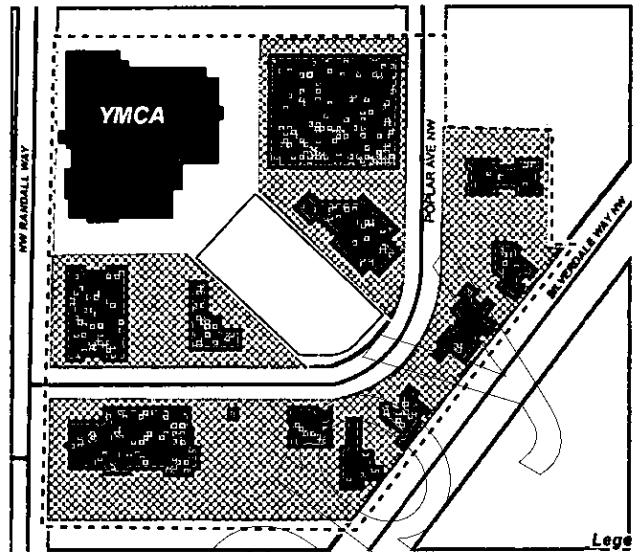


FIGURE 4

POSSIBLE CAMPUS REDEVELOPMENT AREAS

Gross Building Square Footage Assumptions

Below are some preliminary estimates of total gross building square footage needs for some priority uses. The Hazelwood Family YMCA facility and associated parking encompasses 66% of the total land area on the Campus. It should be noted that other than the Hazelwood Family YMCA, the gross building assumptions are conceptual and final determination of size will be dependent on market research, funding, land availability and negotiations with the applicable parties.

CAMPUS USE	GROSS BUILDING SQUARE FOOTAGE
YMCA	85,785
Community Center	Up to 20,000
Senior Housing	Up to 30,000
Library	8,000 to 10,000
Performing Arts Theater	Up to 35,000
Misc. Public Uses/Office	20,000
Retail	10,000
TOTAL	UP TO 210,785 GROSS SQ. FT.

Parking Demands

Due to limited land and the cost of urban parking techniques such as a parking structure or parking beneath a structure, surface parking is the interim reality for the Campus. Below are some preliminary calculations for the number needed stalls associated with priority uses. These draft parking calculations will be refined through future site planning efforts that includes a final building size, traffic analyses, as well as review of potential shared parking strategies.

CAMPUS USE	EXISTING PARKING STALLS	PARKING DEMAND
YMCA	449	600
Community Center	N/A	50
Senior Housing	N/A	30
Library	N/A	30-40
Performing Arts Theater	N/A	N/A
200 Seats	N/A	50
400 Seats	N/A	150
800 Seats	N/A	200
Misc. Public Uses/Office	N/A	67
Retail	N/A	100

Source: Kitsap County Code 17.435.030 and Pierce County Code 18A.35.

1.3 Future considerations

Through discussions with the Campus Design Committee, future consideration should be given to the following:

- Potential Land Expansion
- Poplars Avenue Circulation
- Village Common Design
- Parking structure(s) and
- Campus Signage, Lighting and Landscaping

Campus Expansion

Expansion of the Campus land area could occur to the north and south, if property availability and funding presented itself in the future. This land acquisition could serve as future locations for priority uses or near or long-term parking needs.

Poplars Avenue

Poplars Avenue is currently a partial private and public roadway classification. Local road fund dollars may be expended for improvements and maintenance. However, local road tax levy funds cannot be used for capital improvements or maintenance of the private portion of the roadway.

Additional review should be given to evaluate the potential conversion of Poplars Avenue into a one-way, one-lane, less than 20 mph local access road from Randall Way. This possibility would expand the pedestrian-oriented intent of the Campus and reduce vehicular speeds.

Consideration should also be given to the number of trips generated by existing and proposed uses for the Campus and its overall impact on the transportation network. Traffic impact analyses and discussion of impacts are needed for future development phases or in a comprehensive build-out study.

Village Common

Throughout the multi-year design committee process, discussions were held concerning specific design elements of the Village Common and expansion of public open spaces. More detailed

landscape planning/design work should occur for the Common to ensure maximum utility of this valuable open space and Campus gateway. Possible recreation and open space activities could include, but are not limited to, outdoor concerts, markets and events, as well as public seating areas. These uses should be coordinated and integrated with attractive landscaping techniques that minimize irrigation needs and maintenance costs. Additionally, future development phases should incorporate expansion of the Village Common wherever feasible.

Parking Structure

Available land and funding for long-term parking solutions on the Campus is a challenge. It is intended as redevelopment occurs over time; surface parking will be reduced or eliminated. Future long range planning efforts should evaluate design, funding and potential formation of partnerships necessary for its construction.

Signage, Lighting and Landscaping

A future ad-hoc citizens group should be formed to review and select a preferred design for overall Campus signage, lighting and landscaping located in Common areas, along pathways, parking facilities, etc. Future efforts should also take into consideration how these amenities will be integrated in a cohesive and coordinated Campus layout.

SECTION 2.0 DESIGN INTENT

A "design intent" is a set of general statements of the vision or desired build-out design of an area. The design intent for the Central Kitsap Community Campus is:

The Central Kitsap Community Campus will be a vital community gathering place for civic, cultural and recreational opportunities for generations to come. The Campus' primary uses are envisioned to include, but are not limited to, a library, performing arts center, public meeting spaces, senior housing, and recreational facilities. Commercial, mixed-use and retail uses are auxiliary to the primary purpose of the Campus. The Campus development pattern will be an integrated, landscaped and connected system of pathways linking buildings to the Village Common, roadway networks, parking facilities and adjacent developments. The Village Common will be the physical and visual gateway of the Campus with public vistas looking towards Dyes Inlet and Mount Rainer.

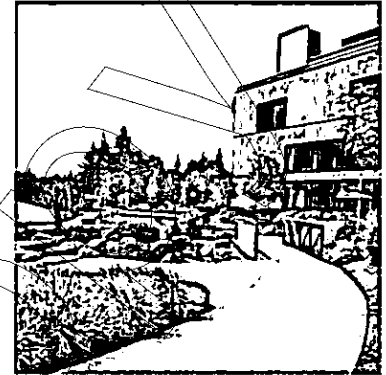
The Village Common will be public open space that is functionally designed for a wide array of events and park-like activities. Building architecture will be distinct but harmonized collectively, built to pedestrian-scale and oriented towards the Village Common. Roadways and vehicular access points will be pedestrian and bicycle friendly with landscaping and traffic calming measures to reduce vehicular speed. Parking is envisioned to be a centralized parking structure, but could be accommodated through a phased approach to minimize the parking footprint. This can be accommodated through a combination of innovative on-site parking strategies such as parking underneath buildings. If surface parking cannot be avoided, it will be well designed, landscaped, linked by pathways, and located in dispersed lots and/or including off Campus locations.

SECTION 3.0 DESIGN PRINCIPLES

Design principles are the essential rules or directions for accomplishing the design intent. They address the relationships between and among the physical components of development (streets, buildings, walkways, parking, uses, etc.) rather than detailed design features. The Campus' design principles are as follows:

3.1 Village common and open space

- A. A Village Common shall be centrally located and visually open to the southeast toward Silverdale Way.
- B. The Village Common shall be designed to accommodate a variety of public open space needs and activities. Future infill development adjacent to the Village Common should expand the Common through a variety of innovative spatial design techniques in order to achieve the mixture of open space activities envisioned for the area.
- C. Public art, sculptures or water features are encouraged.
- D. No building or structure shall substantially impact solar access to the Village Common or reduce its utility as a functional public open space.
- E. Open space, plazas and courtyards shall integrate social interaction with uses, provide an urban setting, and be functional in size and accessibility.



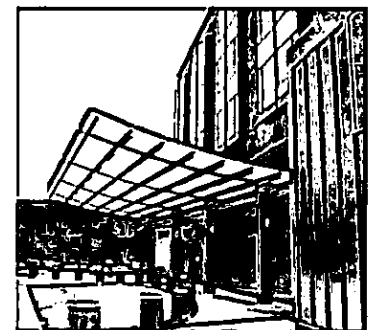
EXAMPLE OF OPEN SPACE DESIGN

3.2 Site design, uses, architectural and building design

- A. The Campus shall be predominately a civic, cultural and recreational destination for the Central Kitsap community.
- B. Any commercial, office, business and residential uses located on the Campus shall be complementary and auxiliary to the Campus' main uses.
- C. Buildings shall be built to human scale with convenient and interconnected pathways and facilities.
- D. Buildings shall be oriented towards the Village Common.
- E. Buildings of multiple stories or floors are preferred.
- F. Natural vistas towards Dyes Inlet and Mount Rainer should be incorporated into overall building design, where feasible.
- G. The Campus shall include a variety of building types, scales and materials that are creative, compatible and enhance the distinctive experience on the site and Village Common.
- H. Building scale and bulk shall be mitigated through the use of prominent architecture, focal points and access points. The visual effect of expansive walls shall be minimized.
- I. The use of innovative and sustainable green building techniques is encouraged.
- J. Landscaping on the Campus is encouraged to be coordinated, attractive, and shall reinforce and unify points of interest and activity nodes.



EXAMPLE OF PEDESTRIAN STREET FAÇADE



EXAMPLE OF ENTRANCE AWNING

- K. Landscaping located along pedestrian/bicycle connections provide a clear sense of orientation and direction.
- L. Use of public furniture, signage, art and lighting be compatible in design and shall enhance the urban setting throughout the Campus.



EXAMPLE OF PROMINENT CORNER ARCHITECTURE

3.3 Vehicular circulation and parking

- A. Roadways shall be designed to reduce vehicular traffic speeds, including the use of traffic calming techniques, and to maximize pedestrian/bicycle utility.
- B. Roadways shall be landscaped and include pedestrian/bicycle pathways that are lighted at human scale.
- C. Crosswalks shall be located strategically on streets. These crosswalks shall be visually distinct and/or raised. Curb extensions (bulb outs) shall be provided to increase pedestrian safety and walkability of the Campus.
- D. Limited on-street parking is allowed within the Campus in order to improve access for people with limited mobility.
- E. A parking structure, structures or off Campus parking is strongly recommended to serve the Campus. Parking shall be designed to maximize infill and the urban setting. For example, shared parking agreements, parking beneath buildings or other urban parking facility designs may be appropriate for near and long-term parking needs.
- F. Surface parking on the Campus is discouraged. However, if provided, surface parking shall be located in dispersed and landscaped lots, avoiding expansive areas and shall be linked by pedestrian and bicycle pathways.

SECTION 4.0 DESIGN ACTIONS

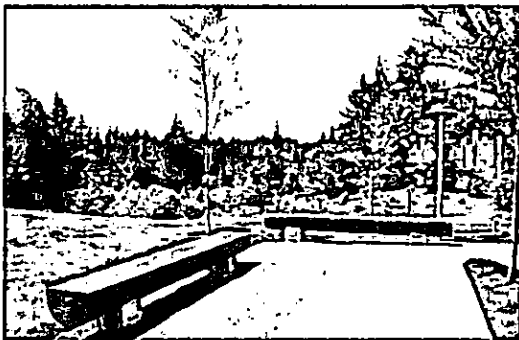
Design actions are the specific ways to accomplish design intent and principles. The following design actions are intended for remodels and new construction projects located on the Campus.

4.1 Village Common and open space standards

- A. Buildings located adjacent to the Village Common shall have, at minimum, a ten (10) foot setback from the boundary of the Village Commons. This setback is an extension of the Village Common and may include primary or secondary pathways, open space, plazas or courtyards. No parking facilities are allowed within or adjacent to this setback.
- B. No building or structure shall substantially impact solar access to the Village Common or reduce its utility as functional public open space.
- C. The Village Common will be visually linked to Dyes Inlet and Mount Rainer.
- D. No building or structure shall impede the Village Common's view corridor to the southeast toward Dyes Inlet.
- E. The Village Common should be designed for a variety of public open space and recreational activities with integrated seating and landscaping. Design and future build out of the Common area should be determined through a public process.

- F. It is encouraged that buildings incorporate open space, courtyards or plazas, where possible.
- G. Pedestrian spaces shall be comfortable, usable, interesting places and safe for human activity and social interaction. These areas may include:
 - i. Planters or trees to break up space.
 - ii. Outdoor or indoor art, sculptures or water features.
 - iii. Benches, seating and tables. The space shall be visually contained with amenities such as special paving and/or stained concrete.
 - iv. Other techniques to encourage pedestrian friendly atmosphere.

EXAMPLES OF VILLAGE COMMON AND OPEN SPACE DESIGN



4.2 Site development standards, architectural and building design

- A. Buildings with multiple stories are preferred.
- B. Buildings should have one access point oriented towards the Village Common. Buildings and associated materials shall be designed to complement to each other, while still demonstrating architectural diversity in an urban setting.
- C. Exterior design and materials shall exhibit permanence and quality appropriate to an urban setting.
- D. New development shall be, at minimum, LEED certified. Projects should strive for the highest practical LEED certification.
- E. The main building elevation shall be pedestrian oriented and lead pedestrians to the entrance(s). Building entrances shall be defined with architectural elements to clearly identify their purpose and shall be at a pedestrian scale.

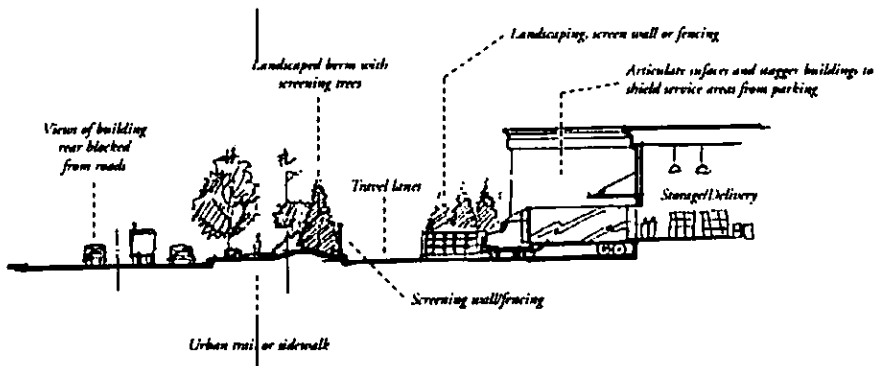
- F. Natural vistas should be incorporated into building design.
- G. Flat roofs are discouraged. Roof design should incorporate architectural elements that are aesthetically pleasing.
- H. Buildings shall integrate awnings, overhangs or other rain protection features when abutting pedestrian amenities.
- I. The building design theme shall extend around all sides of the building. The service areas of the building should be consistent in design and service elements shall be screened from the public. While these "backsides" of the building are typically non-public oriented, care shall still be given to incorporate the character of the design to all facades.
- J. Rooftop equipment shall be located so that it is not visible to pedestrians from Silverdale Way, Poplars Avenue, Randall Way, and primary or secondary pathways. Methods of screening shall be integral to the buildings appearance.
- K. Any building wall greater than thirty (30) feet in length shall incorporate two (2) or more of the following:
 - i. Transparent windows or doors.
 - ii. Vegetation, such as trees, shrubs, or vines adjacent to the wall surface.
 - iii. Artwork, such as murals, mosaics, trellis structures with climbing plants.
 - iv. Architectural detailing revealing contrasting materials or other special visual techniques.
 - v. Other techniques to provide a visual break to blank walls.

EXAMPLES OF PITCHED ROOFS



EXAMPLES OF SERVICE/DELIVERY SCREENING TECHNIQUES

- L. All service, loading and trash/recycle collection areas shall be screened by either a combination of plantings or architectural treatments similar to the design of the building.
- M. The location of service, loading and trash/recycle collection areas near pedestrian-oriented spaces, primary or secondary pathways or the Village Common shall be avoided.



4.3 Pedestrian and bicycle standards

A. Primary pathways are the main pedestrian and bicycle pathways. Primary pathways connect building entrances to the roadway network, Village Common, parking and transit facilities. These walkways shall be located in the most direct route to destinations.

B. Primary pathways shall be, at minimum, eight (8) feet in width and visually distinct using a different pattern and texture such as brick pavers or stamped concrete. Paint or temporary treatments will not meet this requirement. Weather protection mechanisms are encouraged.

C. Primary pathways shall be landscaped, lighted to the human form and provide public seating and bicycle facilities throughout. Based upon location and adjacent activities, these pathways shall be raised to ensure safety. Landscaping shall be, at minimum, five (5) feet in width and located, at least on one side of the pathway. These areas shall contain trees, grasses or other shrubbery native to Western Washington. Pedestrian lighting, bicycle facilities, public furniture and art may be located within the landscaped areas.

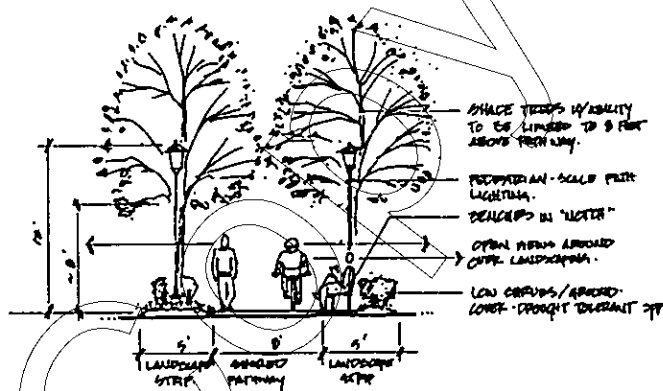
D. Secondary pathways are defined as pathways for pedestrian movement between buildings, courtyards and open space without depending on transit or parking facilities for origin of such movement. Weather protection mechanisms are encouraged.

E. Secondary pathways shall be, at minimum, five (5) feet in width and visually distinct using a different pattern and texture such as brick pavers or stamped concrete. Paint or temporary treatments will not meet this requirement. These pathways should be raised to ensure safety, where necessary.

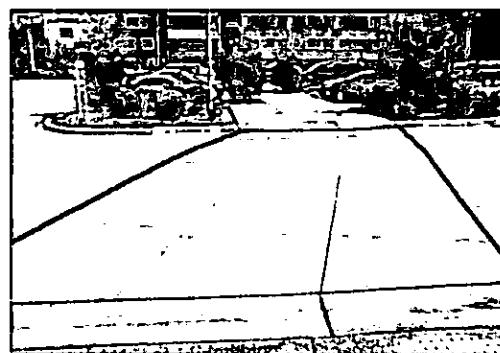
F. Primary and secondary pathways should be coordinated both on-site and within adjacent developments, where feasible.

G. Crosswalks shall be strategically located on roadways. These crosswalks shall have contrasting paving patterns, curb extensions and may be raised for safety purposes. These crosswalks, at minimum, shall be ten (10) feet in width.

**FIGURE 5
CROSS SECTION EXAMPLE OF PRIMARY PATHWAYS**



EXAMPLE OF CROSSWALK



4.4 Vehicular circulation and parking standards

- A. To encourage urban infill, a parking structure(s), off Campus parking, and/or parking below buildings are the preferred parking methods. If constructed on Campus, these facilities shall provide screening, such as shrubs, trees, trellises, etc when facing streets, the Village Common, and primary and secondary pathways.
- B. The amount of parking shall be limited to no more than one hundred percent (100%) of the required minimum amount set forth in Kitsap County Code Title 17 (Zoning). To reduce the amount of land devoted to surface parking, shared parking between users is encouraged. Shared parking may count for up to fifty percent (50%) of required minimum number of spaces for any proposed use.
- C. Surface parking shall be dispersed and limited to, at a maximum, of 30 stalls per surface lot.
- D. No surface parking shall be located between the Village Common and any proposed structure or use.
- E. For surface parking, one (1) raised, secondary pathway shall be located every two (2) aisles of parking stalls. A raised, primary pathway, shall be located every five (5) aisles of parking stalls.
- F. Limited parallel or angled parking is allowed along adjacent to roadways.
- G. Campus roadways shall be designed for vehicular speeds less than 20 miles per hour and with limited vehicular access.



EXAMPLE OF PARKING UNDERNEATH BUILDINGS

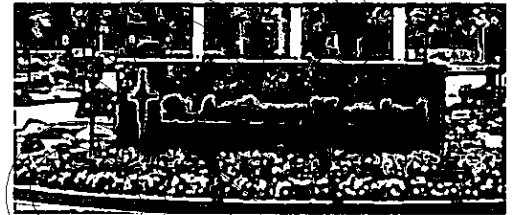
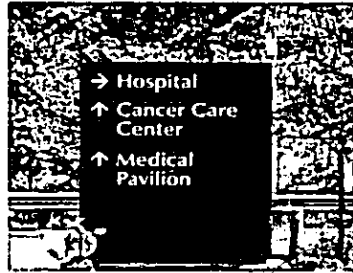


EXAMPLE OF SURFACE PARKING SCREENING

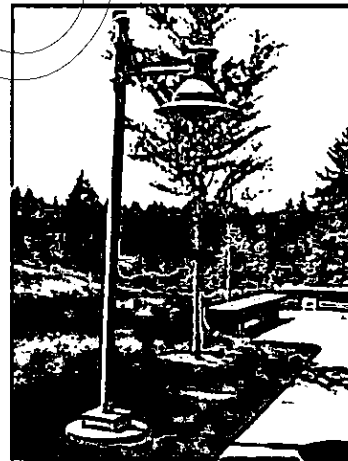
4.5 Signage and lighting standards

- A. Signage shall be high quality, pedestrian-oriented, complementary and integrated with the character of the building design and overall urban setting of the Campus.
- B. Entrance monument signs shall be located at major public entrances onto the Campus. Directional/wayfinding signage shall be located on primary and secondary pathways and within parking areas. This signage should provide directional information to Campus buildings, uses, and parking and transit facilities.
- C. Campus lighting should be coordinated and designed for the pedestrian scale so that it enriches the pedestrian life while still providing safety and security. Outside lighting shall be non-glare design and enhance the pedestrian and urban setting on the Campus.

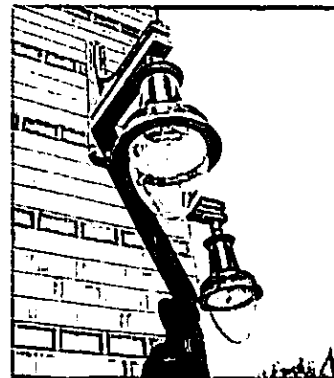
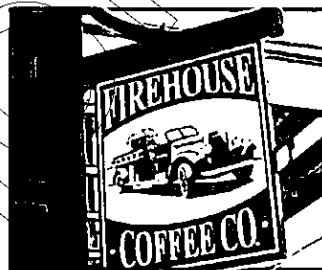
EXAMPLE OF CAMPUS SIGNAGE



EXAMPLES OF CAMPUS LIGHTING



EXAMPLE OF BUILDING SIGNAGE AND LIGHTING



SILVERDALE DESIGN STANDARDS

Chapter 4. Bucklin Hill Center District

4.1 Physical Identity Elements & Opportunities

Figure 4-1 identifies the boundaries of this district. Historical development occurred in Old Town and south of Bucklin Hill Road along Silverdale Way prior to the expanded shopping center development to the north. Bucklin Hill Center, the area around the intersection of Bucklin Hill Road and Silverdale Way, is both a design district at a major intersection and a gateway area into the larger downtown Silverdale area.

An existing Silverdale Village shopping center is located west of Silverdale Way and another smaller center is located on the east side. A higher intensity of office and lodging uses exists in the northeast and southeast quadrants of the Silverdale Way and Bucklin Hill Road intersection.

The district also encompasses the Central Kitsap Community Campus area, bounded by Randall Way on the west, Silverdale Way on the east and existing commercial activities to the north and south. This community campus is expected to provide public amenities such as, a library, performing arts center, public meeting space, recreational activities, senior housing, mixed use development, and open space. The Central Kitsap Community Campus design guidelines are addressed separately in Appendix A of these design standards.

4.2 Design Intent

The existing shopping centers located along Silverdale Way will redevelop as mixed-use "village centers" from Anderson Hill Road and Linder Way on the south to Bucklin Hill Road on the north. They will contribute to a larger village character by locating pedestrian squares in visual proximity to one another along and visible from Silverdale Way, by connecting local service streets to other adjacent districts where feasible, and by providing safe pedestrian connectors across Silverdale Way.

New interior local streets will provide a continuous traffic pattern into and through the village. The mixed-use developments will add residential or office space to retail uses, incorporate civic or cultural uses where feasible, and integrate an expanded pedestrian open space system to parking areas, retail facilities and other uses.

Above grade housing or office uses reinforce the retail uses at ground level. The western edge of the existing Silverdale Village borders a wooded slope, providing an opportunity for medium density housing in that area. Housing provides a transition use between the adjacent West Hill Neighborhood and the village. It provides opportunities for pedestrian access from West Hill to the Silverdale Village Center with a West Hill climb incorporated into new development, and provides views of Dyes Inlet. Similarly, the eastern edge of the eastern village component borders a portion of Old Town and has potential views of Dyes Inlet, Linder Field and Strawberry Creek.

A mixed-use area of larger scale office, lodging, and entertainment buildings could be located in the northeast and southeast quadrants of the Silverdale Way and Bucklin Hill Road intersection and along the shore lands on the south side of Bucklin Hill Road.

4.3 Design Principles

Former shopping plazas should be converted to mixed-use centers, comprising a village-center complex on both sides of Silverdale Way, referred to as *Silverdale Village*. See Figures 4-2 and 4-3 for design sketches of a sample "village."

The basic elements and composition of the town or village center include:

- A. A "main street" will be part of a private or public local service street network for each side of Silverdale Way, providing clearly defined on-site vehicular circulation, connecting on-site parking areas to major arterials and adjacent districts where feasible.
- B. Local service street access to perimeter arterials will be coordinated with adjacent and nearby developments as development incrementally occurs.
- C. One to four story buildings shall be arranged along a "main street" and clustered around a village square and smaller pedestrian courtyards.
- D. Pedestrian walkways, sidewalks, and other paths will provide a continuous pedestrian connection from on-site facilities to parking, adjacent public streets and nearby developments.
- E. Housing or office units will be mixed with retail uses, either stacked above or clustered next to retail and located away from Silverdale Way where feasible.
- F. A village square, plaza, greens, or commons shall be provided in a centralized location, along "main street," as a focal leisure space for each development, integrated with ground floor retail and residential/office uses, and oriented to the southeast, south, or southwest.
- G. Parking areas will be in small, dispersed parking lots.
- H. One connecting east-west vehicular crossing with a signalized intersection can occur in the southern portions of each development.



Figure 4-2 Village Example

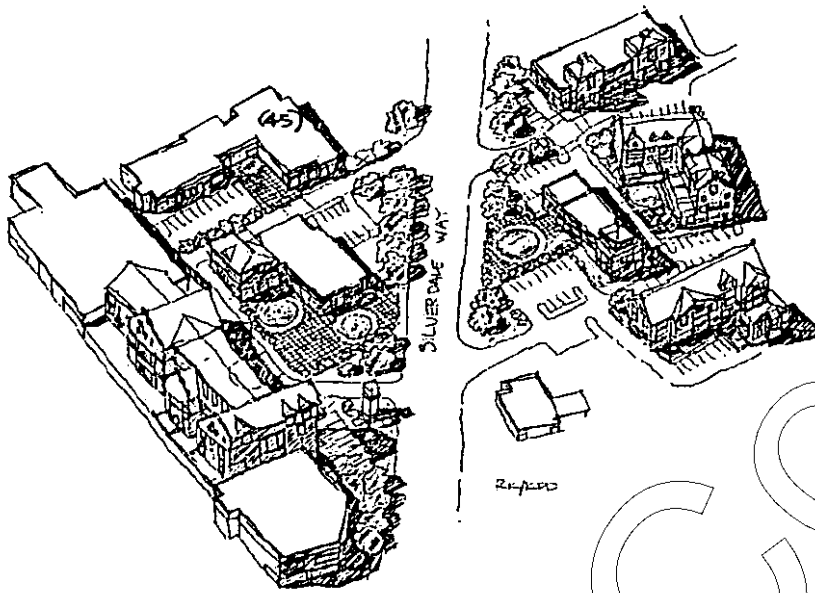


Figure 4-3 Village Example

Basic elements of design in the existing higher density area east of Silverdale Way would include:

- I. Parking and vehicular access will be from a local street network with controlled access points to arterials safely away from the Bucklin Hill/Silverdale Way intersection.
- J. Development on the south side of Bucklin Hill Road shall orient to Dyes Inlet and Silverdale Creek with landscaping and public pedestrian access facilities along the shoreline.

4.4 Design Actions

4.4.1 BUILDING ORIENTATION, HEIGHTS & TYPES

- A. Mixed-use buildings will be oriented to a "main street" and village square, with front and side yard setbacks ranging from zero to 8 feet maximum depth along major pedestrian walkways.
- B. Civic or cultural buildings, if any, should have prominent locations, preferably at major intersections or on village square.
- C. New, remodeled or reconfigured buildings in the RC zone will have a maximum base height of 35 feet, with an approved height increase not to exceed 45 feet. Residential units should be located away from Silverdale Way and Bucklin Hill Road. If located on the Central Kitsap Community Campus, the building height maximum for the Regional Commercial (RC) zone shall apply.
- D. Weather protection features such as canopies and marquees shall be provided on storefront buildings along major pedestrian walkways.
- E. Commercial buildings at prominent corners shall have distinctive architectural features such as setback entries, corner towers, or architectural sculpture

- F. Live/work buildings can provide a transitional use and building type between commercial and residential buildings.

4.4.2 OPEN SPACE & PEDESTRIAN SYSTEM

- A. Pedestrian-oriented village squares, greens, commons, courtyards, and walkways will be incorporated into mixed-use developments. They will contain a variety of hard and vegetated surfaces and will accommodate outdoor activities ranging from cafes and coffee shops to outdoor markets, sales and play areas. See Figure 4-5 for an example of a village square with mixed-use buildings.

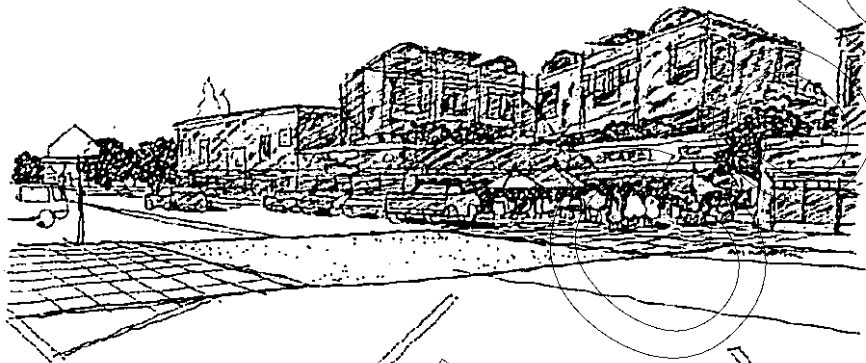


Figure 4-4 Village Square

- B. The village square or green should be the largest and central space located on "main street," with size varying according to site conditions and size of development, e.g., 7,000 to 8,000 square feet (approximating the size of a volley ball court) can provide space for diverse outdoor activities.
- C. Commercial Courtyards, between 30 to 50 feet in width, shall be provided in or between retail clusters, with buildings on two or three sides.
- D. Live/work buildings may accommodate some or all of the required residential outdoor open space on balconies or decks.
- E. Pedestrian promenades and "main street" walkways that connect major components of the village development and the village to perimeter arterials, will be 12 feet minimum in width for the walking area on at least one side of the street, and 8 to 12 feet on the remaining side. Where outdoor activities such as cafes, restaurants, etc. are anticipated to use portions of the walkways, add 8 feet to the sidewalk width. Where parking abuts the "main street" walkway, add 4 feet minimum for planting features or 2 feet minimum if vertical barriers such as artistic bollards, attractive hardscape elements or artistic features.
- F. Parking lot walkways that connect parking lots and lots to retail clusters will be 8 feet minimum width.
- G. Pedestrian crossings within a parking lot will be 6 feet minimum in width and either striped, containing different paving materials for contrast or raised.
- H. Weather protection features such as canopies and freestanding shelters should be dispersed throughout parking areas for pedestrian comfort and safety.

- I. Two pedestrian highway crossings should be located along Silverdale Way south of Bucklin Hill Road and should connect mixed-use centers east and west of the highway, using pedestrian-activated signals, raised medians, pedestrian flags, different paving patterns or flashing lights.
- J. A pedestrian bridge should cross Silverdale Creek, south of Bucklin Hill Road, connecting Bay Shore Drive with the waterfront walkway on the east side of the creek.
- K. A waterfront walkway will extend along the waterfront east of Silverdale Creek, from Bucklin Hill Road south and eastward to the county park and Clear Creek corridor.
- L. If feasible, a portion of "Silverdale Creek," a covered drainage channel flowing into Dyes Inlet, will be daylighted on the north side of Bucklin Hill Road and incorporated into new or expanded development. Reduced parking requirements, variations in building heights, or reductions in permit fees may be granted to a development that incorporates an open creek in its site design.

4.4.3 STREETS & PARKING (See Figure 4-5 *Parking, Landscape and Street Diagram* for examples)

- A. "Main streets" and collector street(s) connecting the development to major arterials will be 22 to 24 feet in width with parallel parking places on one or both sides of street, with a raised or protected sidewalk (bollards, planting features) on both sides of street.
- B. Secondary streets connecting parking lots to main streets and collector streets will be 20 to 22 feet in width with a raised or protected sidewalk (bollards, planting features) and a parking lane on at least one side of street.
- C. Non-signalized streets connecting to arterials will have limited turning movements such as right turn in and right turn out, keeping with the flow of arterial traffic.
- D. Local streets that serve as delivery lanes may use "main street" dimensions.
- E. Parking areas will be small clusters of lots consisting of one to two double-loaded parking bays maximum, i.e., one driving lane flanked by one row of parking stalls on each side.
- F. On-street parking may be used to fulfill parking requirements for a proposed use if located on the subject parcel, contiguous with the public right-of-way and meeting all sidewalk and landscape requirements.
- G. Individual parking clusters shall be separated by an 8 feet wide minimum sidewalk protected by curbs, plantings or artistic bollards.
- H. Parking lots and structures in the northeast quadrant of the Bucklin Hill Road and Silverdale Way intersection will be accessed from a local street network to the north, northeast and east of the intersection development.

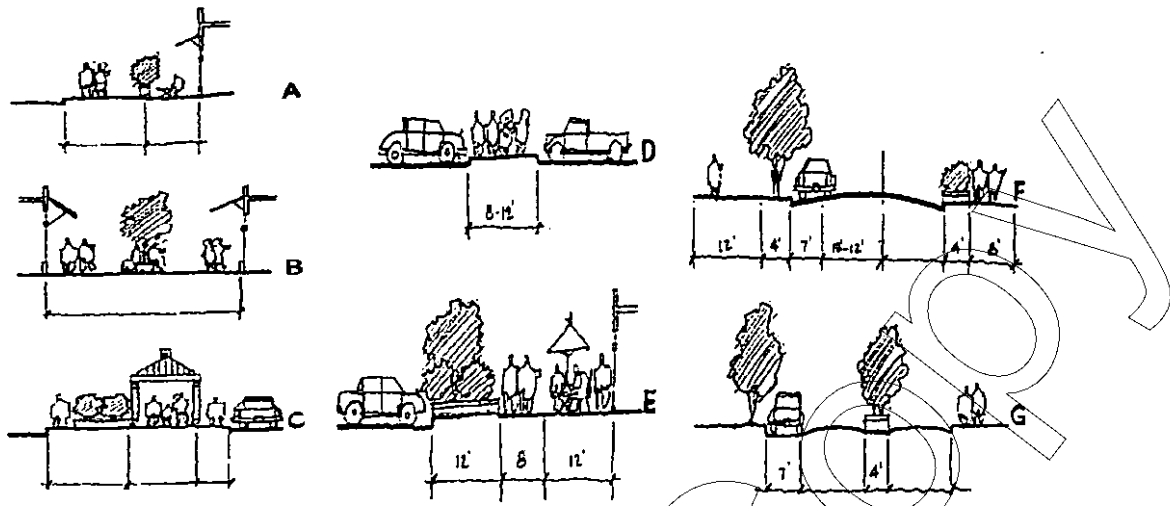


Figure 4-5 Parking, Landscape and Street Diagram

KITSAP COUNTY CODE TITLE 17 (ZONING) Central Kitsap Community Campus Code Amendments

Noted below are proposed code augmentations to Kitsap County Code Title 17 (Zoning). The purpose of these code amendments is to establish parameters and expectations for the Central Kitsap Community Campus in regards allowed uses and appropriate process. The Central Kitsap Community Campus is zoned for Regional Commercial (RC). Proposed amendments are underlined/strikeout and highlighted yellow. For complete code chapters, please see visit www.kitsapgov.com.

CHAPTER 17.381 Allowed Uses

LEGEND	
RC	Regional Commercial Zoning Classification
P	Permitted Use
ACUP	Administrative Conditional Use Permit
C	Hearing Examiner Conditional Use Permit
PBD	Performance Based Development
X	Prohibited Use
R	Reserved
<u>Red Underline</u>	Proposed New Addition
Red Strikeout	Proposed Deletion

17.381.040(B) Commercial and Mixed Use Zones.

Use	Low Intensity Commercial/Mixed Use			High-Intensity Commercial/Mixed Use				Rural
	(NC) (19) (30) (48) (57)	UVC (30) (48) (57)	LIC (48) (57)	UTC (48) (57)	HTC (19) (29) (30) (48) (57)	RC (19) (48) (57) (88)	MU (19) (44) (45) (48) (57)	RCO (12) (64)
RESIDENTIAL USES								
Accessory dwelling units (1)	X	X	X	R	X	X	X	X
Accessory living quarters (1)	X	X	X	R	X	X	X	X
Accessory use or structure (1) (17) (18) (51)	P	P	P	R	P	P (84)	P	P
Adult family home	X	ACUP P (41)	ACUP P (41) (79)	R	ACUP P (41)	ACUP P (41) (84)	ACUP P (41)	ACUP P (41)
Bed and breakfast house	ACUP C (34)	ACUP C (34)	ACUP (79)	R	X	X	X	ACUP C (34)
Caretaker's dwelling	ACUP	ACUP	ACUP	R	ACUP	ACUP (84)	ACUP	P
Convalescent home or congregate care facility	C	ACUP	ACUP X (79)	R	ACUP	ACUP (84)	ACUP	X
Cottage housing developments	X	ACUP	X	R	X	X	ACUP	X
Dwelling, duplex	X	ACUP	X	R	X	X	X	X
Dwelling, existing	P	P	P	R	P	P	P	P
Dwelling, multi-family	X	ACUP	P X (79)	R	ACUP	ACUP C (85)	ACUP P (81)	X
Dwelling, single-family attached	X	P	P X (79)	R	ACUP	ACUP (84)	ACUP P (81)	X
Dwelling, single-family detached	X	P	X	R	X	X	X	X

17.381.040(B) Commercial and Mixed Use Zones.

Use	Low Intensity Commercial/Mixed Use			High-Intensity Commercial/Mixed Use				Rural
	(NC) (19) (30) (48) (57)	UVC (30) (48) (57)	LIC (48) (57)	UTC (48) (57)	HTC (19) (29) (30) (48) (57)	RC (19) (48) (57) (88)	MU (19) (44) (45) (48) (57)	RCO (12) (64)
Guest house (1)	X	X	X	R	X	X	X	X
Home business (1) (53)	ACUP	P	X	R	X	X	ACUP	ACUP
Hotel/Motel	C	ACUP	ACUP X (79)	R	P	P (84)	ACUP	X
Manufactured homes	X	X (43)	ACUP X (79)	R	X	X	X	X
Mixed use development (44)	ACUP	ACUP	P X (79)	R	ACUP	ACUP (86)	ACUP P (81)	X
RESIDENTIAL USES (continued)								
Mobile homes	X	X (43)	X	R	X	X	X	X
Residential care facility	X	ACUP	ACUP X (79)	R	ACUP	ACUP (84)	ACUP	X
COMMERCIAL/BUSINESS USES								
Accessory use or structure (1) (17) (51)	P	P	P	R	P	P	P	P
Adult entertainment (1)	X	X	X	R	C	C (84)	X	X
Ambulance service	C	C	P	R	P	P (84)	ACUP	X
Auction house (55)	X	ACUP	P	R	P	P (84)	X	C
Auto parts and accessory stores (65)	P	X	P (83)	R	P	P (84)	ACUP	C
Automobile rentals	P	P	P (83)	R	P	P	ACUP	X

17.381.040(B) Commercial and Mixed Use Zones.

Use	Low Intensity Commercial/Mixed Use			High-Intensity Commercial/Mixed Use				Rural
	(NC) (19) (30) (48) (57)	UVC (30) (48) (57)	LIC (48) (57)	UTC (48) (57)	HTC (19) (29) (30) (48) (57)	RC (19) (48) (57) (88)	MU (19) (44) (45) (48) (57)	RCO (12) (64)
	(56)	(56)				(61) (84)		
Automobile repair and car washes (65)	ACUP (54)	X	P (83)	R	P	P (84)	ACUP	C
Automobile service station (6)	ACUP	X	P (79) (83)	R	P	P (61) (84)	X C (82)	C
Automobile, recreational vehicle or boat sales	X	X	P (83)	R	ACUP	ACUP (84)	X	X
Boat/marine supply stores	X	X	P (83)	R	P	P (84)	ACUP	C
Brew pubs	ACUP	ACUP	P	R	P	P C (85) (87)	ACUP	X
Clinic, medical	ACUP	ACUP	P	R	P	P (87)	ACUP	X
Conference center	X	P	P	R	P	P C (85) (87)	ACUP	X
Custom art and craft stores	P (54)	P (54)	P	R	P	P C (85) (87)	ACUP	C
Day-care center (14)	P (54)	P (54)	P X (79)	R	P	P C (85) (87)	ACUP	ACUP
Day-care center, family (14)	ACUP (54)	ACUP (54)	P X (79)	R	P	P (61) (84)	P	X
Drinking establishments	C	ACUP	P	R	C	C (87)	C	C

17.381.040(B) Commercial and Mixed Use Zones.

Use	Low Intensity Commercial/Mixed Use			High-Intensity Commercial/Mixed Use			Rural	
	(NC) (19) (30) (48) (57)	UVC (30) (48) (57)	LIC (48) (57)	UTC (48) (57)	HTC (19) (29) (30) (48) (57)	RC (19) (48) (57) (88)	MU (19) (44) (45) (48) (57)	RCO (12) (64)
Engineering and construction offices	P (54)	P (54)	P	R	P	P (84)	ACUP	ACUP
Espresso stands (58) (72)	P	X	P	R	P	P (61) (84)	P	ACUP
COMMERCIAL/BUSINESS USES (continued)								
Equipment rentals	X	ACUP	X	R	P	P (61) (84)	ACUP	ACUP
Farm and garden equipment and sales	X	X	P	R	P	P (61) (84)	ACUP	ACUP
Financial, banking, mortgage and title institutions	P (54)	P (54)	P	R	P	P (C 85) (87)	ACUP	X
General office and management services – less than 4,000 s.f.	P	P	P	R	P	P	ACUP	ACUP
General office and management services – 4,000 to 9,999 s.f.	ACUP	ACUP	P	R	P	P (84)	ACUP	C
General office and management services – 10,000 s.f. or greater	X	ACUP	P	R	P	P (84)	ACUP	X
General retail merchandise stores – less than 4,000 s.f.	P	P	P	R	P	P	ACUP	ACUP
General retail merchandise stores – 4,000 to 9,999 s.f.	ACUP	ACUP	P	R	P	P (84)	ACUP	C
General retail merchandise stores – 10,000 to 24,999 s.f.	C	C	P	R	P	P (84)	ACUP	X

17.381.040(B) Commercial and Mixed Use Zones.

Use	Low Intensity Commercial/Mixed Use			High-Intensity Commercial/Mixed Use				Rural
	(NC) (19) (30) (48) (57)	UVC (30) (48) (57)	LIC (48) (57)	UTC (48) (57)	HTC (19) (29) (30) (48) (57)	RC (19) (48) (57) (88)	MU (19) (44) (45) (48) (57)	RCO (12) (64)
General retail merchandise stores – 25,000 s.f. or greater	X	X	ACUP	R	ACUP (62)	ACUP (62) (84)	X	X
Kennels or pet day-cares	C	X	C	R	C	C (61) (84)	C	C
Kennels, hobby	P	P	X	R	X	X	P	X
Laundromats and laundry services	P (54)	P (54)	P	R	P	P (84)	ACUP	X
Lumber and bulky building material sales	X	X	ACUP (42)	R	ACUP (42)	ACUP (42) (61) (84)	X	C
Mobile home sales	X	X	X	R	ACUP	ACUP (61) (84)	X	X
Nursery, retail	ACUP	ACUP	P	R	P	P (84)	ACUP	ACUP
Nursery, wholesale	ACUP	ACUP	P	R	P	P (61) (84)	ACUP	P
Off-street private parking facilities	ACUP	ACUP	X	R	P	P C (85)	ACUP	X
COMMERCIAL/BUSINESS' USES (continued)								
Personal services – skin care, massage, manicures, hairdresser/barber (66)	P (54)	P (54)	P	R	P	P (87)	ACUP	ACUP (54)
Pet shop – retail and grooming	ACUP	ACUP	P	R	P	P (84)	ACUP	ACUP (54)

17.381.040(B) Commercial and Mixed Use Zones.

Use	Low Intensity Commercial/Mixed Use			High-Intensity Commercial/Mixed Use				Rural
	(NC) (19) (30) (48) (57)	UVC (30) (48) (57)	LIC (48) (57)	UTC (48) (57)	HTC (19) (29) (30) (48) (57)	RC (19) (48) (57) (88)	MU (19) (44) (45) (48) (57)	RCO (12) (64)
Research laboratory	X	X	X	R	X	X	X	X
Restaurants	P (54)	P (54)	P	R	P	P ACUP (85)	P ACUP (81)	C
Restaurants, high-turnover	C	ACUP	P	R	P	P (63) (84)	P ACUP (81)	X
Recreation vehicle rentals	X	X	X	R	ACUP	ACUP (61) (84)	X	X
Temporary offices and model homes (27)	X	X	X	R	X	X	X	X
Tourism facilities, including outfitter and guide facilities	X	P	P	R	P	P	X	ACUP
Tourism facilities, including seaplane and tour-boat terminals	X	X	X	R	ACUP	ACUP (84)	X	C
Transportation terminals	C	C	C	R	ACUP	ACUP C(85)	ACUP	X
Veterinary clinics/Animal hospitals	ACUP	ACUP	P	R	P	P (84)	C	ACUP
RECREATIONAL/CULTURAL USES								
Accessory use or structure (1),(17) (51)	P	P	P	R	P	P	P	P
Amusement centers	C	C (11)	ACUP (11) X (79)	R	ACUP (11)	ACUP (11)	ACUP (11)	X
Carnival or circus	C	ACUP (11)	ACUP (11)	R	ACUP (11)	ACUP (11)	ACUP (11)	X

17.381.040(B) Commercial and Mixed Use Zones.

Use	Low Intensity Commercial/Mixed Use			High-Intensity Commercial/Mixed Use				Rural
	(NC) (19) (30) (48) (57)	UVC (30) (48) (57)	LIC (48) (57)	UTC (48) (57)	HTC (19) (29) (30) (48) (57)	RC (19) (48) (57) (88)	MU (19) (44) (45) (48) (57)	RCO (12) (64)
			X (79)			(61) (84)		
Club, civic or social	ACUP	ACUP	P	R	P	P ACUP (85)	ACUP	C
Golf courses	ACUP	ACUP	X	X	ACUP	ACUP (61) (84)	ACUP X (80)	X
RECREATIONAL/CULTURAL USES (continued)								
Marinas	ACUP	C	X	X	ACUP	ACUP (61) (84)	C	C
Movie/Performance theaters, indoor	ACUP	P	P	R	P	P ACUP (85)	ACUP	X
Movie/Performance theaters, outdoor	X	ACUP	C	R	C	ACUP	C	C
Museum, galleries, aquarium, historic or cultural exhibits (67)	ACUP	P	P	R	P	P C (85)	ACUP	C
Parks and open space	P	P	P	P	P	P	P	P
Race track, major	X	X	X	X	C	C (61) (84)	X	X
Race track, minor	X	X	X	X	X	X	X	X
Recreational facilities, private	ACUP	ACUP	ACUP	R	ACUP	ACUP	ACUP	C
Recreational facilities, public	ACUP	ACUP	P	R	ACUP	ACUP	ACUP	ACUP
Recreational vehicle camping parks	C	X	X	R	C	X	X	X
Zoo	X	X	C	R	C	C	X	X

17.381.040(B) Commercial and Mixed Use Zones.

Use	Low Intensity Commercial/Mixed Use			High-Intensity Commercial/Mixed Use			Rural	
	(NC) (19) (30) (48) (57)	UVC (30) (48) (57)	LIC (48) (57)	UTC (48) (57)	HTC (19) (29) (30) (48) (57)	RC (19) (48) (57) (88)	MU (19) (44) (45) (48) (57)	RCO (12) (64)
						(61) (84)		
INSTITUTIONAL USES								
Accessory use or structure (1) (17) (51)	P	P	P	R	P	P	P	P
Government/Public structures	ACUP	ACUP	ACUP	R	ACUP	ACUP	ACUP	ACUP
Hospital	X	C	ACUP	R	ACUP	ACUP (84)	C	X
Places of worship (12)	C	C	ACUP	R	ACUP	ACUP (84)	C	C
Private or public schools (20)	C	C	ACUP	R	ACUP	ACUP	C	C
Public facilities, transportation and parking facilities, electric power and natural gas utility facilities, substations, ferry terminals, and commuter park-and-ride lots (16)	ACUP	ACUP	ACUP	R	ACUP	ACUP	ACUP	C
INDUSTRIAL USES								
Accessory use or structure (1) (17) (51)	P	P	P	R	P	P (84)	P	P
Air pilot training schools	X	P	X	R	P	P (84)	X	X
INDUSTRIAL USES (continued)								
Assembly and packaging operations	X	C	X	R	C	C (61) (84)	C X (80)	X
Boat yard	X	X	X	R	ACUP	ACUP (61) (84)	X	X
Cemeteries, mortuaries, and crematoriums (10)	C	C	X	R	ACUP	ACUP	X	C

17.381.040(B) Commercial and Mixed Use Zones.

Use	Low Intensity Commercial/Mixed Use			High-Intensity Commercial/Mixed Use				Rural
	(NC) (19) (30) (48) (57)	UVC (30) (48) (57)	LIC (48) (57)	UTC (48) (57)	HTC (19) (29) (30) (48) (57)	RC (19) (48) (57) (88)	MU (19) (44) (45) (48) (57)	RCO (12) (64)
						(61) (84)		
Cold storage facilities (69)	X	X	X	R	X	X	X	C
Contractor's storage yard (21)	X	X	X	R	X	X	X	X
Food production, brewery or distillery	X	X	X	R	C	C (61) (84)	C X (80)	C
Fuel distributors	X	X	X	R	C	C (61) (84)	X	X
Helicopter pads (13)	X	C	C	R	C	C (84)	C	X
Manufacturing and fabrication, light	X	C	X	R	C	C (61) (84)	X	X
Manufacturing and fabrication, medium	X	X	X	R	X	X	X	X
Manufacturing and fabrication, heavy	X	X	X	R	X	X	X	X
Manufacturing and fabrication, hazardous	X	X	X	R	X	X	X	X
Recycling centers	X	X	X	R	X	X	X	C
Rock crushing	X	X	X	R	X	X	X	X
Slaughterhouse or animal processing	X	X	X	R	X	X	X	C (70)
Storage, hazardous materials	X	X	X	R	X	X	X	C (75)
Storage, indoor	X	X	X	R	C	C (61) (84)	X	C (75)

17.381.040(B) Commercial and Mixed Use Zones.

Use	Low Intensity Commercial/Mixed Use			High-Intensity Commercial/Mixed Use				Rural
	(NC) (19) (30) (48) (57)	UVC (30) (48) (57)	LIC (48) (57)	UTC (48) (57)	HTC (19) (29) (30) (48) (57)	RC (19) (48) (57) (88)	MU (19) (44) (45) (48) (57)	RCO (12) (64)
Storage, outdoor	X	X	X	R	X	X	X	C (75)
Storage, self-service	C	C	ACUP X (79)	R	ACUP	ACUP (61) (84)	ACUP (40)	C (75)
INDUSTRIAL USES (continued)								
Storage, vehicle and equipment (1)	X	X	X	R	ACUP	X	X	C
Top soil production, stump grinding	X	X	X	R	X	X	X	C
Transshipment facilities, including docks, wharves, marine rails, cranes, and barge facilities	X	X	X	R	X	X	X	X
Uses necessary for airport operation such as runways, hangars, fuel storage facilities, control towers, etc. (13)	X	X	X	R	X	X	X	X
Warehousing and distribution (68)	X	X	X	R	X	X	X	X
Wrecking yards and junk yards (1)	X	X	X	R	X	X	X	X
RESOURCE LAND USES								
Accessory use or structure (1) (17) (51)	P	P	P	R	P	P (84)	P	P
Aggregate extraction sites	X	X	X	R	X	X	X	C
Agricultural uses (15)	P	X	P X (79)	R	P	P (84)	P	P
Aquaculture practices	C	C	C	R	C	C (84)	C	C
Forestry	P	X	P X	R	P	P (84)	P	P

17.381.040(B) Commercial and Mixed Use Zones.

Use	Low Intensity Commercial/Mixed Use			High-Intensity Commercial/Mixed Use				Rural
	(NC) (19) (30) (48) (57)	UVC (30) (48) (57)	LIC (48) (57)	UTC (48) (57)	HTC (19) (29) (30) (48) (57)	RC (19) (48) (57) (88)	MU (19) (44) (45) (48) (57)	RCO (12) (64)
			(79)					
Shellfish/fish hatcheries and processing facilities	X	X	X	R	X	X	X	X
Temporary stands not exceeding 200 square feet in area and exclusively for the sale of agricultural products grown on site (27)	P (2)	X	P (2)	R	P (2)	P (2) (84)	P (2)	P (2)

17.381.050 Footnotes for zoning use table.

A. Where noted on the preceding use tables, the following additional restrictions apply:

1. Where applicable subject to Section 17.381.060, Provisions applying to special uses.
2. Minimum setbacks shall be twenty feet from any abutting right-of-way or property line; provided, however, advertising for sale of products shall be limited to two on-premises signs each not exceeding six square feet.
3. When located within urban growth areas (except UR), duplexes shall require five thousand square feet of minimum lot area. Duplexes located in the UR zone or outside of urban growth areas shall require double the minimum lot area required for the zone.
4. No greater than two acres for the purpose of construction and maintenance of a timber management road system, provided the total parcel is at least twenty acres.
5. Provided public facilities do not inhibit forest practices.
6. Where permitted, automobile service stations shall comply with the following provisions:
 - a. Sale of merchandise shall be conducted within a building, except for items used for the maintenance and servicing of automotive vehicles;
 - b. No automotive repairs other than incidental minor repairs or battery or tire changing shall be allowed;
 - c. The station shall not directly abut a residential zone; and
 - d. All lighting shall be of such illumination, direction, and color as not to create a nuisance on adjoining property or a traffic hazard.
7. In rural wooded (RW), rural protection (RP), or rural residential (RR) zones:

- a. Animal feed yards and animal sales yards shall be located not less than two hundred feet from any property line; shall provide automobile and truck ingress and egress; and shall also provide parking and loading spaces so designed as to minimize traffic hazards and congestion. Applicants shall show that odor, dust, noise, and drainage shall not constitute a nuisance, hazard, or health problem to adjoining property or uses.
- b. All stables and paddocks shall be located not closer than fifty feet to any property line. Odor, dust, noise, flies, or drainage shall not be permitted to create or become a nuisance to surrounding property.
8. A veterinary clinic or animal hospital shall not be located within fifty feet of a lot line in the rural protection (RP) or rural residential (RR) zones. In addition, the applicant may be required to provide additional measures to prevent or mitigate offensive noise, odor, light and other impacts.
9. Veterinary clinics and animal hospitals are allowed, provided a major part of the site fronts on a street and the director finds that the proposed use will not interfere with reasonable use of residences by reason of too close proximity to such residential uses, or by reason of a proposed exterior too different from other structures and character of the neighborhood. All activities shall be conducted inside an enclosed building.
10. A cemetery, crematorium, mausoleum, or columbarium shall have its principal access on a county roadway with ingress and egress so designed as to minimize traffic congestion, and shall provide required off-street parking spaces. No mortuary or crematorium in conjunction with a cemetery is permitted within two hundred feet of a lot in a residential zone.
11. A circus, carnival, animal display, or amusement ride may be allowed through administrative review in all industrial zones and any commercial zones, except neighborhood commercial (NC), for a term not to exceed ninety days, with a written approval of the director. The director may condition such approval as appropriate to the site. The director's decision may be appealed to the hearing examiner.
12. All buildings and activities shall be set back a minimum of fifty feet in FRL, MR, RW, RP, RR, RCO, RI or Parks zones and thirty-five feet in all other zones from a side or rear lot line. All such uses shall access directly to a county right-of-way determined to be adequate by the county engineer, and be able to provide access without causing traffic congestion on local residential streets. Any such use shall not be materially detrimental to any adjacent (existing or future) residential development due to excessive traffic generation, noise, light or other circumstances. The director may increase setback, buffer and landscaping standards or impose other conditions to address potential impacts.
13. Public use airports and heliports are allowed only within the airport (A) zone established by this title. Heliports for the purpose of medical emergency facilities may be permitted in certain zones subject to a conditional use permit. All private landing strips, runways, and heliports shall be so designed and oriented that the incidences of aircraft passing directly over dwellings during their landing or taking off patterns is minimized. They shall be located so that traffic shall not constitute a nuisance to neighboring uses. The proponents shall show that adequate controls or measures will be taken to prevent offensive noise, vibrations, dust, or bright lights.

14. In those zones that prohibit residential uses, family day-care centers are only allowed in existing residential structures. Day-care centers shall have a minimum site size of ten thousand square feet and shall provide and thereafter maintain outdoor play areas with a minimum area of seventy-five square feet per child of total capacity. A sight-obscuring fence of at least four feet in height shall be provided, separating the play area from abutting lots. Adequate off-street parking and loading space shall be provided.

15. The number of animals on a particular property shall not exceed one large livestock, three small livestock, five ratites, six small animals, or twelve poultry:

- a. Per forty thousand square feet of lot area for parcels one acre or smaller or for parcels five acres or smaller located within two hundred feet of a lake or year-round stream; provided, that when no dwelling unit or occupied structure exists within three hundred feet of the lot on which the animals are maintained, the above specifications may be exceeded by a factor of two;
- b. Per twenty thousand square feet of area for parcels greater than one acre, but less than or equal to five acres, not located within two hundred feet of a lake or year-round stream; provided, that when no dwelling unit or occupied structure exists within three hundred feet of the lot on which the animals are maintained, the above specifications may be exceeded by a factor of two;
- c. No feeding area or structure or building used to house, confine or feed livestock, small animals, ratites, or poultry shall be located closer than one hundred feet to any residence on adjacent property located within a rural wooded (RW), rural protection (RP), or rural residential (RR) zone, or within two hundred feet of any residence on adjacent property within any other zone; provided, a pasture (greater than twenty thousand square feet) shall not be considered a feed area.

16. The erection, construction, alteration, or maintenance of overhead or underground utilities by a public utility, municipality, governmental agency, or other approved party shall be permitted in any zone; provided, that any permanent above-ground structures not located within a right-of-way or easement shall be subject to the review of the director. Utility transmission and distribution lines and poles may exceed the height limits otherwise provided for in this title. Water towers which exceed thirty-five feet in height, solid waste collection, transfer and/or handling sites in any zone shall be subject to a conditional use permit. These provisions do not apply to wireless communication facilities, which are specifically addressed in Chapter 17.470.

17. For waterfront properties, accessory structures such as docks, piers, and boathouses may be permitted in the rear yards, shorelands or tidelands subject to the following limitations:

- a. All requirements of the Kitsap County Shoreline Management Master Program must be met;
- b. The building height of any boathouse shall not be greater than fourteen feet above the ordinary high water line;
- c. Covered structures must abut or be upland of the ordinary high water line; and
- d. No covered structure shall have a width greater than twenty-five feet or twenty-five percent of the lot width, whichever is most restrictive.

18. One piece of heavy equipment may be stored in any single-family zone; provided, that it is either enclosed within a permitted structure, or screened to the satisfaction of the director.
19. All development within the Silverdale Design District boundaries must be consistent with the Silverdale Design Standards.
20. Site plans for public schools shall include an area identified and set aside for the future placement of a minimum of four portable classroom units. The area set aside may not be counted towards meeting required landscaping or parking requirements.
21. Outdoor contractor's storage yards accessory to a primary residence shall be limited to not more than ten heavy equipment vehicles or heavy construction equipment. The use shall be contained outside of required setbacks within a contained yard or storage building. The storage yard and/or building shall be screened from adjacent properties with a screening buffer a minimum of twenty-five feet in width and capable of providing functional screening of the use. Minimum lot size shall be one hundred thousand square feet.
22. Stump grinding, soil-combining and composting in rural protection and rural residential zones must meet the following requirements:
 - a. The subject property(ies) must be one hundred thousand square feet or greater in size;
 - b. The use must take direct access from a county-maintained right-of-way;
 - c. A fifty-foot natural vegetation buffer must be maintained around the perimeter of the property(ies) to provide adequate screening of the use from neighboring properties;
 - d. The subject property(ies) must be adjacent to an industrial zone or a complementary public facility such as a sewage treatment plant or solid waste facility;
 - e. The proposed use must mitigate noise, odor, dust and light impacts from the project; and
 - f. The use must meet all other requirements of this title.
23. Home businesses located in the forest resource lands (FRL) must be associated with timber production and/or harvest.
24. Mobile homes are prohibited, except in approved mobile home parks.
25. All uses must comply with the town development objectives of Section 17.321B.025.
26. Within the MVC zone, a new single-family dwelling may be constructed only when replacing an existing single-family dwelling. All replacement single-family dwellings and accessory structures within the MVC zone must meet the height regulations, lot requirements, and impervious surface limits of the MVR zone.
27. Subject to the temporary permit provisions of Chapter 17.455.
28. Allowed only within a commercial center limited in size and scale (e.g., an intersection or corner development).
29. The Bethel Road Corridor Development Plan sets forth policies and regulations for development within the Highway Tourist Commercial Zone located along the Bethel Corridor in South Kitsap from SE Ives Mill Road to the Port Orchard city limits. Development within the Bethel Road Corridor Highway

Tourist Commercial Zone shall be conducted in a manner consistent with the policies and regulations of the Land Use Element of the Bethel Road Corridor Development Plan.

30. The Design Standards for the Community of Kingston set forth policies and regulations for properties within the downtown area of Kingston. All development within this area must be consistent with these standards. A copy of the Design Standards for the Community of Kingston may be referred to on the Kitsap County web page or at the department of community development front counter.

31. Uses permitted only if consistent with an approved master plan pursuant to Chapter 17.415. Where a master plan is optional and the applicant chooses not to develop one, all uses shown as permitted require an administrative conditional use permit.

32. For properties with an approved master plan, except as described in Section 17.370.025, all uses requiring a conditional use permit will be considered permitted uses.

33. Must be located and designed to serve adjacent area.

34. Bed and breakfast houses with one to four rooms require an administrative conditional use permit; bed and breakfast houses with five or more rooms require a hearing examiner conditional use permit. Bed and breakfast houses serving meals to patrons other than overnight guests require a hearing examiner conditional use permit.

35. The use shall be accessory and shall not occupy more than twenty-five percent of the project area.

36. Requires a conditional use permit when abutting SVR or SVLR zone.

37. Permitted only within a mixed use development or office complex.

38. Customer service-oriented uses over five thousand square feet are prohibited.

39. For the purpose of construction and maintenance of a timber management road system.

40. Self storage facilities must be accessory to the predominant residential use of the property, sized consistently for the number of lots/units being served and may serve only the residents of the single-family plat or multi-family project.

41. Adult family homes serving one to six residents (excluding proprietors) are permitted uses. Adult family homes serving more than six applicable residents (excluding proprietors) require an administrative conditional use permit (ACUP).

42. All business, service repair, processing, storage, or merchandise display on property abutting or across the street from a lot in any residential zone shall be conducted wholly within an enclosed building unless screened from the residential zone by a sight-obscuring fence or wall.

43. Where a family member is in need of special, frequent and routine care and assistance by reason of advanced age or ill health, a manufactured home or mobile home may be placed upon the same lot as a single-family dwelling for occupancy by the individual requiring or providing such special care subject to the following limitations:

- a. Not more than two individuals shall be the recipients of special care;
- b. No rent, fee, payment or charge in lieu thereof may be made for use of the single-family dwelling or manufactured/mobile home as between the recipients or providers of special care;

- c. The manufactured/mobile home must meet the setback requirements of the zone in which it is situated;
 - d. A permit must be obtained from the director authorizing such special care manufactured/mobile home. Such permit shall remain in effect for one year and may, upon application, be extended for one-year periods, provided there has been compliance with the requirements of this section;
 - e. The manufactured/mobile home must be removed when the need for special care ceases; and
 - f. Placement of the manufactured/mobile home is subject to applicable health district standards for water service and sewage disposal.
44. Certain development standards may be modified for mixed use developments, as set forth in Section 17.382.035 and Chapter 17.400.
45. New or expanded commercial developments that will result in less than five thousand gross square feet of total commercial use within a development site or residential developments of fewer than four dwelling units are permitted outright outside of the Silverdale UGA.
46. Allowed only as an accessory use to a park or recreational facility greater than twenty acres in size.
47. As a hearing examiner conditional use, UM and UH zones adjacent to a commercial zone may allow coordinated projects that include commercial uses within their boundaries. Such projects must meet the following conditions:
- a. The project must include a combination of UM and/or UH and commercially zoned land;
 - b. The overall project must meet the density required for the net acreage of the UM or UH zoned land included in the project;
 - c. All setbacks from other residentially zoned land must be the maximum required by the zones included in the project;
 - d. Loading areas, dumpsters and other facilities must be located away from adjacent residential zones; and
 - e. The residential and commercial components of the project must be coordinated to maximize pedestrian connectivity and access to public transit.
48. Within urban growth areas, all new residential subdivisions, single-family or multi-family developments are required to provide an urban level of sanitary sewer service for all proposed dwelling units.
49. Mixed use development is prohibited outside of urban growth areas.
50. The 2007 Manchester Community Plan, Appendix A – Manchester Design Standards, sets forth policies and regulations for properties within the Manchester Village Commercial (MVC) district. All development within the MVC district must be consistent with these standards.
51. Storage of shipping containers is prohibited unless allowed as part of a land use permit and/or approval. Placement of storage containers allowed only with an approved temporary permit subject to the provisions of Section 17.455.090(I).
52. Aggregate production and processing only. Allowed only if directly connected to an approved surface mining permit approved by the Washington State Department of Natural Resources (DNR).

53. Commercial or industrial uses otherwise prohibited in the zone may be allowed as a component of a home business subject to the requirements of Section 17.381.060(B).
54. The gross floor area shall not exceed four thousand square feet.
55. Auction house and all items to be auctioned shall be fully enclosed within a structure.
56. There shall be no more than six rental vehicles kept on site.
57. When a component of development located within a commercial zone involves the conversion of previously undeveloped land which abuts a residential zone, it shall be treated as a Type II Administrative Decision.
58. In addition to the other standards set forth in the Kitsap County Code, espresso stands are subject to the following conditions:
 - a. Drive aisles/stacking lanes shall be designed to accommodate a minimum of three vehicles per service window/door. Each stacking lane shall be sized measuring eight and one-half feet in width and twenty feet in length, with direct access to the service window. The drive aisles/stacking lanes shall be designed to prevent any vehicles from interfering with public or private roadways, pedestrian circulation, traffic circulation, parking areas or other required development amenities.
 - b. Subject to provisions set forth in Chapter 17.435, drive aisles and parking areas must also be paved in urban growth areas and include, at minimum, hard compacted surfaces in rural areas. Such surfaces must be addressed with required drainage facilities. A joint parking agreement shall be required if parking cannot be accommodated on site.
 - c. All structures must be permanently secured to the ground.
 - d. Restroom facilities must be available for employees. Portable or temporary restroom facilities shall not be used to meet this requirement.
59. Use is permitted in the South Kitsap Industrial Area only.
60. All development in Illahee shall be consistent with the Illahee Community Plan.
61. Use prohibited in the Waaga Way Town Center area (see the Silverdale Design Standards).
62. General retail merchandise stores greater than one hundred twenty-five thousand square feet in size are prohibited in the Waaga Way Town Center area (see the Silverdale Design Standards). Additional square footage may be allowed for projects greater than twenty-five acres in size.
63. Restaurants, high-turnover that provide drive-through service must be compatible with the pedestrian focus of the Waaga Way Town Center (see the Silverdale Design Standards). Such businesses shall minimize potential conflicts with pedestrian and bicycle traffic and gathering areas by subordinating the drive-through service to the overall development design.
64. When a component of development is located within the Rural Commercial or Rural Industrial Zone and involves the conversion of previously undeveloped land which abuts a residential zone, it shall be treated as a Type III Administrative Decision.
65. No car washes allowed in RCO or RI.
66. Personal service businesses in the RCO are limited to four chairs and are intended for local use only.

67. No aquariums are allowed in the RCO zone. Galleries, museums, historic and cultural exhibits should be geared toward the character of the rural area, rural history, or a rural lifestyle.
68. In the RI zone, warehousing and distribution should be focused on agricultural, food, or forestry uses only.
69. In the RI zone, cold storage facilities are only allowed for agricultural and food uses.
70. In the RCO and RI zones, slaughterhouses and animal processing may have a retail component not to exceed four thousand square feet.
71. In the RCO zone, custom art and craft stores are limited to studio type and size only.
72. Must be accessory to an immediate primary use.
73. Heavy construction, farming and forestry equipment only.
74. Allowed for existing airports only.
75. All storage must be screened from public view by a twenty-five-foot buffer in order to meet rural compatibility. Applicant must also demonstrate how the storage would serve the immediate population.
- 76.

0 – 4,000 square feet = P

4,001 – 10,000 square feet = ACUP

10,001 – 15,000 square feet = C

15,001 square feet and above = X

77. All dwelling units must be included within a senior living development and consistent with the residency requirements of Section 17.335.080(A).
78. Allowed only in concentrated commercial/mixed use areas designated at the time of performance-based development approval for a senior living development. The use shall be sized and located consistent with the needs of the proposed senior living development.
79. Use prohibited within the portion of the Gorst urban growth area between the Sinclair Inlet shoreline and State Highways 3 and 16.
80. Use prohibited within the Gorst urban growth area.
81. Use permitted outright in the Gorst urban growth area.
82. Use requires a conditional use permit in the Gorst urban growth area.
83. In the Gorst urban growth area, must take access from state route. Auto uses with underground storage tanks (such as gas stations) shall not be located in the Gorst Creek floodplain.
84. Use prohibited on the Central Kitsap Community Campus. (See the Silverdale Design Standards).
85. Use requires an Administrative Conditional Use Permit (ACUP) or Hearings Examiner Conditional Use Permit (C) if located on the Central Kitsap Community Campus. (See Silverdale Design Standards).
86. If located on the Central Kitsap Community Campus, any mixed-use development must be in a single building, and total floor area devoted to commercial uses shall not exceed seventy percent (70%). Other mixed-use development standards and waivers set forth in KCC 17.382.035 shall not apply to the Central Kitsap Community Campus. (See Silverdale Design Standards).
87. If located on the Central Kitsap Community Campus, retail/office uses are allowed if accessory and directly related to priority public or community uses. (See the Silverdale Design Standards).

88. Uses allowed on the Poplar's property, as defined by the Silverdale Design Standards shall not be subject to footnotes 84 through 87 until such time it is substantially redeveloped; but will be subject to all other provisions of this Title.

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